CORPORATION OF THE TOWNSHIP OF EAST ZORRA-TAVISTOCK COUNCIL 2022 - 2026

AGENDA

for the Meeting to be held on Wednesday March 15, 2023 at the **Innerkip Community Centre**, 695566 17th Line, Innerkip, Ontario, at 7:00 p.m.

- 1. Call to Order & Opening Remarks
- 2. Approve Agenda
- 3. Disclosure of Pecuniary Interest and General Nature Thereof
- 4. General Business:
 - a) Confirm March 1, 2023 Council Meeting Minutes
 - b) Bryan Smith ISE Student Exchange
 - c) ROEDC December 2022 February 2023 Activity Report
 - d) Oxford County William St. SPS Class EA Memo
 - e) Innerkip Easter Egg Hunt 2023
- 5. Delegations & Appointments:
 - a) 7:15 p.m. ZBA Application ZN2-23-01 (Township of EZT & Fishback)
 - b) 7:30 p.m. MVA Application A-3-2023 (Williams)
 - c) 7:45 p.m. Court of Revision Tavistock Drain 1985-Reconstruction 2023
- 6. Reports of Municipal Officers and Committees:
 - a) Conferences and Seminars
 - b) County Council Updates & Questions
 - c) Staff Reports Updates & Questions
 - d) Staff Report #BIDS2023 01 re: Tavistock Drain 1979 Reconstruction 2021 Section 84.1 Report
 - e) Staff Report #PW2023-03 re: Joint Surface Treatment Tender Results
 - f) Staff Report #BCO2023 01 re: By-law Compliance Reporting
 - g) Staff Report #CSM2023 02 re: Corporate Services Reporting
 - h) Staff Report #CAO2023 03 re: CAO-Treasury Reporting
- 7. By-laws:
 - a) By-law #2023-07 Actual Cost By-law (Tavistock Drain 1979 Recon. 2021)
 - b) By-law #2023-08 ZBA Application ZN2-23-01 (Township of EZT & Fishback)
 - c) By-law #2023-04 Tavi. Drain 1985 Recon. 2023 (Prov. By-law) 3rd Reading
- 8. Other and Unfinished Business:
- 9. Closed to the Public Session *as authorized under s. 239 of the Municipal Act*:
- 10. Confirming By-law
- 11. Adjourn

Page 2 #1.

Placeholder Page for Agenda Item 1 – Call to order and opening remarks

Use this page to note any opening remarks you wish to make.

Placeholder Page for Agenda Item 2 – Approval of the Agenda

Use this page to note items you would like added to the agenda.

Placeholder Page for Agenda Item 3 – Disclosure of Pecuniary Interest

Use this page to note any Pecuniary Interests you wish to declare at the meeting.

The Council of the Township of East Zorra-Tavistock met at the Innerkip Community Centre, Innerkip, Ontario at 9:00 a.m. on Wednesday March 1, 2023.

<u>Members Present:</u> Mayor Phil SCHAEFER and Councillors Matthew GILLESPIE, Jeremy SMITH, Steven VAN WYK and Scott ZEHR.

Members Absent: Deputy Mayor Brad SMITH and Councillor Scott RUDY.

<u>Staff Present:</u> CAO-Treasurer Karen DePrest, Clerk Will Jaques, Chief Building Official John Scherer, Public Works Manager Tom Lightfoot and Fire Chief Scott Alexander.

Mayor SCHAEFER welcomed everyone to the meeting. Mayor SCHAEFER noted the statement that was included in the agenda package under opening remarks, which was prepared and submitted by the previous recreation contractor, Ken Wettlaufer. Councillor SMITH noted the Oxford County Library presentations as part of Black History Month, as well as the Murray Family of Hickson, who has one of their recipes included in the new Ontario Pork cookbook. Councillor ZEHR noted his attendance at the Upper Thames River Conservation Authority (UTRCA) Annual General Meeting, where Township residents Frank McKay and Phil Holst were recognized for their conservation efforts.

Approve Agenda

Moved by: Steven VAN WYK
 Seconded by: Jeremy SMITH
 Resolved that Council approve the agenda for the March 1, 2023, meeting as printed and circulated.

CARRIED.

PECUNIARY INTERESTS:

• None.

Confirm
Minutes Council

Moved by: Matthew GILLESPIE
 Seconded by: Scott ZEHR
 Resolved that Council confirm the Minutes of the
 February 15, 2023, Council Meeting, as printed and
 circulated.

CARRIED.

Correspondence & Reports - No Resolutions:

- ERTH Corporation Notice of Special Shareholder's Meeting
- Staff Report #CBO2023 03 re: Building, Development & Drainage Reporting
- Staff Report #PW2023 02 re: Public Works Reporting
- Staff Report #FC2023 02 re: Fire Department Reporting

<u>Correspondence & Reports - Resolutions</u> <u>Following:</u>

ERTH
Corporation –
Notice of
Special
Shareholder's

Meeting

Council reviewed the correspondence from ERTH Corporation regarding the upcoming Special Shareholder's Meeting. Members of Council advised as to whether or not they wished to attend this meeting.

County Council-Updates & Questions Mayor SCHAEFER provided an update on Oxford County Council activities.

Staff Report
#CBO2023 - 03
re: Building,
Development &
Drainage
Reporting

CBO John Scherer reviewed the Monthly Building, Development & Drainage Report with Council.

Staff Report #PW2023 - 02 re: Public Works Reporting Public Works Manager Tom Lightfoot reviewed the Monthly Public Works Report with Council.

At 9:22 a.m., Ronda Stewart from the Rural Oxford Economic Development Corporation (ROEDC) attended the meeting to provide a review of their 2022 activities.

Public Hearing -Minor Variance Application A-2-2023 (van de Camp) PUBLIC HEARING - MINOR VARIANCE
APPLICATION #A-2-2023 (VAN DE CAMP),
DESCRIBED AS LOT 4, CONCESSION 9 (EAST
ZORRA), TOWNSHIP OF EAST ZORRATAVISTOCK.

At 9:47 a.m., Council, constituted as the Committee of Adjustment, considered Minor Variance Application #A-2-2023 for Dick and Marina van de Camp. Planner Dustin Robson presented Planning Report #CP2023-54.

Members of the Committee asked questions of the Planner and Staff. The applicant was present for the hearing and spoke favourably of their application. The Committee considered the comments made in making its decision regarding this application.

- 3. Moved by: Scott ZEHR
 Seconded by: Jeremy SMITH
 Resolved that Council, constituted as the
 Committee of Adjustment, approve Application File
 A-2-2023, submitted by Benedictus (Dick) and
 Marina van de Camp for lands described as Lot 4,
 Concession 9 (East Zorra), and municipally
 addressed as 475214 Zorra/East Zorra-Tavistock
 Line, in the Township of East Zorra-Tavistock as it
 relates to:
 - 1. Relief from the provisions of Section 7.2.4 Number of Accessory Dwellings and Garden Suites Per Lot; to permit the establishment of a second accessory single detached dwelling.

Subject to the following conditions:

- The requested relief shall apply to permit the construction of a single detached dwelling that is generally consistent with the location and size of 'Option 1' shown on Plate 3 of Report No. 2023-54; and,
- 2. The granting of this application in no way sanctions the future severance of either residence by the County of Oxford Land Division Committee.

As the variance requested is considered to be:

- i. in keeping with the general intent and purpose of the Official Plan;
- ii. a minor variance from the provisions of the Township of East Zorra-Tavistock Zoning By-Law No. 2003-18;
- iii. desirable for the appropriate development or use of the land, building or structure; and,
- iv. in keeping with the general intent and purpose of the Township of East Zorra-Tavistock Zoning By-Law No. 2003-18.

CARRIED.

Staff Report #FC2023 - 02 re: Fire Department

Reporting

Fire Chief Scott Alexander reviewed the Monthly Fire Department Report with Council.

Adjourn to
Closed to the
Public Session

- 4. Moved by: Jeremy SMITH Seconded by: Scott ZEHR Resolved that Council does now adjourn to a Closed to the Public Session, at <u>10:05 a.m.</u>, to consider the following matters:
 - December 7, 2022, Closed to the Public Session Minutes (s. 239 (2) (c))
 - ERTH Corporation Special Shareholder's Meeting (s. 239 (2) (c))

CARRIED.

Rise from
Closed to the
Public Session

5. Moved by: Matthew GILLESPIE
Seconded by: Jeremy SMITH
Resolved that Council does now rise from its
Closed to the Public Session at 10:30 a.m.

CARRIED.

6. Moved by: Scott ZEHR
Seconded by: Matthew GILLESPIE
Resolved that Council appoint Don McKay as the shareholder representative for voting purposes at the March 23, 2023 ERTH Corporation Special Shareholder's Meeting.

CARRIED.

Confirming By-law

Moved by: Jeremy SMITH 7. Seconded by: Scott ZEHR

Resolved that By-law #2023-06 being a by-law to

confirm the proceedings of Council held

Wednesday March 1, 2023, be read a first, second

and third time this 1st day of March, 2023;

And further that the Mayor and Clerk are hereby authorized to sign the same and affix the corporate

seal thereto.

CARRIED.

Adjourn

Moved by: Matthew GILLESPIE 8. Seconded by: Steven Van WYK

Resolved that Council does now adjourn at

<u>10:35 a.m.</u>

CARRIED.

Will Jaques, Clerk

Phil Schaefer, Mayor

Will Jaques

Subject: Exchanges and Bursaries for EZT student residents

Good morning, Bonjour,

It's Bryan Smith, of ISE Ontario international exchanges and Future Oxford. I recently pitched to the County Council for a bursary for students who participate in exchanges with ISE to European countries during their school year, and who bring back ideas related to the Community Sustainability Plan to share in Oxford.

The bursary, \$1200 per student and up to 8 students, has been granted. It can apply to school-year exchanges to Switzerland, France, Spain, Italy and/or Germany which are five of ISE's current offerings. That means at least one bursary for a student who resides in East Zorra-Tavistock (even if attending school outside the municipality or the county).

I can send information related to the bursary and would be happy to describe it more to council if a presentation seems best. If correspondence will do the trick that too will be good. More information regarding the ISE Ontario exchanges is available via our webpage or me. If you know families interested in such possibilities I am happy to provide information to them directly. I have just finished informing every elementary and secondary school in Oxford and am aware that when I speak to students in Stratford that occasionally I meet Oxfordians there too.

Thank you. Au plaisir de vous en reparler....

Bryan Smith,



ISE Ontario and Oxford County

Travel to France, Switzerland, Spain, Germany or Italy

Experience sustainability, language, and culture.



Oxford County offers \$1200 bursaries for 8 high school students!

Visit <u>www.iseontario.on.ca</u> Contact <u>bryansmith@iseontario.on.ca</u>



Criteria for Oxford Community Sustainability Bursary

To the Student:

The criteria for a bursary of up to \$1200 from the County of Oxford are as follow:

- 1. You must be a permanent resident of one of the municipalities of Oxford County
- 2. You must participate in a school-year international exchange organized by ISE Ontario
- 3. You must define a research project for the time you will be in France, Switzerland, Italy, Germany or Spain which will result in the sharing of knowledge with groups in Oxford about sustainability. Your research may be face-to-face, lived, by interview, by visits, or electronic.
- 4. Your research must address items in the Future Oxford Community Sustainability Plan, either by focussing on one or more goals in a pillar environmental, social or economic or by focussing on connected goals across two or three pillars
- 5. You must locate a minimum of two (2) community groups to whom to present your research and ideas about sustainability.
- 6. Upon returning from the exchange, you must present to those groups, and obtain a signed form or letter indicating that you have completed a presentation to the group.
- 7. An electronic copy of your presentation of the research must be deposited with Future Oxford

Acceptance for the bursary

- 1. Completed applications shall consist of the following:
 - A single-page letter outlining the topic or research questions on sustainability
 - A copy of the personal profile pages of your ISE application form
 - A list of community groups who have expressed an interest in your presentation on sustainability upon your return, with contact information for an authorized representative of the group.
 - Optional letters of support from community groups and/or members for the bursary.
- 2. Applicants to be accepted for the bursary will
 - Be resident in one of the municipalities in the County of Oxford, and in the case of more than one application in a municipality be deemed the better for the purpose of the bursary
 - Complete the school-year exchange with ISE Ontario to one of the hosting countries
 - Complete the presentation as described in the application
 - Complete all required elements of the application, research and presentation within the times of the agreement between ISE and Oxford.
- 3. There is no requirement that a minimum number of bursaries be given.

Application Evaluation form

Part A: Completion

Element is complete	Yes	No
One-page letter describing research		
ISE Application form		
List of interested Community Groups		

Part B: Qualitative Analysis

Research Topic	Questions	Scale 1-4
Pillar	Does the topic address one or more goals in a useful way?	
	Does the topic relate to specific actions?	
	Does the topic relate to promising innovations in and/or for Oxford County?	
Sharing	Questions	Scale 1 – 4
Community Groups	Are community groups sufficiently interested in the topic?	
	Are the community groups interested in the topic sufficient to make use of the ideas and/or innovation?	

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December 2022- February 2023 Economic Development Activity

Business Support:

a. General Business Support Inquiries: 32

b. Expansion Support Inquiries: 9

c. Outreach to Business re: Workforce: 50d. Land Inquiries/Development Support: 10

e. Business Visits: 6f. Business Events: 2

Land Inquiries by Industry:

Commercial Retail Spaces Available for Lease, Printing & Distribution, Agri-Business Product Sales & Services, Aggregate Company, Ag to Industry/Commercial Exploration.

Projects & Partner Collaboration:

- a. Oxford Rural Entrepreneurs 2023 Networking Event Series
 - Facebook group created to help connect rural businesses online between inperson meetings. Currently, 98 members have joined.
 - Planning confirmed with 5 host venues: https://ruraloxford.ca/networking
 - Next Steps: Partner committee meeting in March to review the final schedule

b. Business Training Videos

- Planning underway to launch an online mini-business training resource portal accessible to Oxford Rural Entrepreneurs and others.
- Website backend framework is being built with graphics custom automations.
- Starting lineup of topics and presenters have been selected to create a minibusiness training video and accompanying downloadable pdf.
- Next Steps: receive and send the training material to the web designer to complete phase one of the training resource portal.

c. Rural Oxford New Website Launched

- Fresh, lean, mobile-friendly, modern and accessible design; robust Resources page, individual Community Profile pages with Township specific information and vibrant video collections showcasing some of the amazing people and businesses found in our rural communities.
- Next Steps: routine maintenance, regular content updates through blog, marketing and business training videos, resources and new initiatives.



d. Rural Oxford's Shopping Channel

- Planning underway to launch a marketing campaign inviting 12 businesses to join this rural promotional video series.
- Next Steps: Run marketing campaign (early spring), client intake (late spring), record videos (early summer), release videos (early fall).

e. Rural Investment Readiness Assessment Surveys

- Digital questionnaire was sent out to township staff and planning to help determine a baseline for each rural community's investment readiness
- Next Steps: Receive the qualitative information, compile themes and gaps, arrange meetings to discuss individual or collective findings in March.

f. Tourism Oxford, Community Futures & Rural Oxford Supporting Innovation

- Applications are open for the Oxford County Tourism Innovation Grant Program (deadline to submit is March 1st): https://cfoxford.ca/2023-tourism-grant-applications-now-open
- Next Steps: Confirm applicant eligibility, review and score applications, panel interviews with finalists on March 15th.

g. Oxford Connection

- The "Oxford Connection Fam Tour Re-launch" won the Economic Developers
 Council of Ontario's Investment Attraction Urban Award.
- A shared success for the group's combined effort of returning to hosting the inperson Fam Tour for 50 guests (realtors, developers, site selectors, ministry investment partners) in September 2022, plus the quality investment attraction video series that can be shared by our regional partners for years to come.
- Next Steps: Oxford Connection is planning its 2023 tradeshow schedule and plans to host a condensed Fam Tour in the fall.

h. Exciting Licensed Home Child Care Update!

- The new Oxford County Human Services Manager has confirmed that Oxford County has financial resources available to grant to individuals who may need help overcoming the cost hurdle to becoming approved as a Licensed Home Child Care provider with one of the local licensing agencies in Oxford County.
- Currently, there are 60 available licensed Home Child Care Provider spots between OCCC and Today's Family, and only around 12 are claimed.
- Next Steps: Offer marketing support and point rural residents to OCCC and Today's Family to inquire about this fantastic opportunity.



- i. Oxford Workforce Development Partnership
 - Focus on CES Oxford's RED Grant (industry specific videos, upgrades to workinoxford.ca/welcometooxford.ca) and county-wide Career Fairs.
 - Next Steps: Assist in communicating about the new website and tools directly to employers.
- j. Oxford Local Immigration Partnership
 - Close to 60 Ukrainian families have arrived and accessed Settlement Services.
 - United Way shared the Federal Government's \$400M Community Recovery Fund to support community service organizations across Canada: https://unitedwayoxford.ca/2023/01/06/csrf
 - Rural Oxford EDC shared the Newcomer Talent Retention Network program: https://willemployment.ca/will-immploy/newcomer-retention-project/assessment
 - Western is conducting a Qualitative Discrimination Study to understand lived experiences of newcomers to the area. Study closed February 10th, 2023.
 - Next Steps: Review findings of the Western Study when made available.
- k. Norwich Career Expo is Back!
 - Planning and preparations are underway for the Norwich Chamber's Career Expo that will take place on Tuesday, April 18th, 2023.
 - Next Steps: Support the planning committee with ideas, connections, marketing and financial resources once the budget has been confirmed.

Governance & Administration:

- a. Oxford County Council has convened a committee requesting all economic development offices in the region to participate in three meetings as a condition to receiving requested annual grants. This committee is asked to bring forward a report to County Council to provide both a vision or strategy for a sustainable and robust local economy and how all partners can work collaboratively for all areas of Oxford County. This report will be due no later than June 28, 2023.
- b. Create/circulate Rural Oxford EDC's 2022 Year in Review Report
- c. Coordinate annual delegations to each Rural Township
- d. Attended the ROMA (January) and EDCO (February) Conferences
- e. February Board Meeting preparation
- f. CES requested full use of the Rural Oxford EDC office that is underused by staff currently. Next Steps: coordinate a moving truck and move office contents.





Public Works
21 Reeve Street, PO Box 1614
Woodstock, ON N4S 7Y3
519.539.9800, ext. 3001 | 1.800.755.0394

Public Works MEMORANDUM

TO: Township of East Zorra-Tavistock Council

FROM: David Simpson, Director of Public Works

DATE: February 28, 2023

RE: William Street Sewage Pumping Station, Village of Tavistock

Municipal Class Environmental Assessment Study – Notice of Study Commencement, Oxford County

Oxford County Public Works is initiating a Municipal Class Environmental Assessment (EA) Study to consider a wide range of Sewage Pumping Station (SPS) and/or collection system upgrade alternatives within the William Street SPS catchment area in Tavistock. From this, the most appropriate conceptual design concept will be selected to support ongoing wastewater servicing needs in this area to the year 2046. The Study Area is shown in the attached Notice of Commencement.

This Class EA Study is being carried out in accordance with the planning and design process for Schedule B projects as outlined in the Municipal Engineers Association *Municipal Class Environmental Assessment* (October 2000, as amended in 2007, 2011 and 2015), which is approved under the *Ontario Environmental Assessment Act*. Any potential impact of the project alternatives on social, cultural, economic, and natural environments will be evaluated and assessed during the Class EA Study.

MTE Consultants has been retained to assist in undertaking the Class EA Study to assess a range of potential servicing solutions. During the early stages of the Class EA Study, preliminary screening of the potential servicing solutions will be completed to address current and future wastewater servicing needs.

Public and review agency consultation is a key element of the Class EA process and input will be sought throughout the process. The Notice of Commencement will appear in local newspapers and social media. This will also be sent to residents and all property owners within the project's study area.

Original signed by:

David Simpson, P.Eng., PMP Director of Public Works

Encl. Notice of Study Commencement



Notice of Study Commencement

Class Environmental Assessment Study and Conceptual Design William Street Sewage Pumping Station, Tavistock

About the study

Oxford County is initiating a Municipal Class Environmental Assessment (EA) Study that will consider a wide range of Sewage Pumping Station (SPS) and/or collection system upgrade alternatives within the William Street SPS catchment area (refer to Study Area map), in order to select the most appropriate conceptual design concept that will support ongoing wastewater servicing needs to the year 2046.

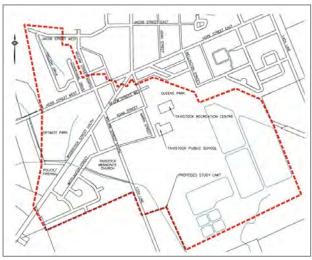
About the process

This notice signals the commencement of this Class EA Study which will define the project; identify and evaluate alternative solutions; and determine a preferred alternative solution in consultation with the public, Indigenous communities and regulatory agencies. Any potential impacts of the SPS upgrade alternatives on social, cultural, economic and natural environments will be evaluated and assessed during the Class EA Study.

This study is being carried out in accordance with the requirements of the *Environmental Assessment Act* under Schedule B of the Municipal Class Environmental Assessment (2000, as amended to 2007, 2011, & 2015), which is an approved process under the *Ontario Environmental Assessment Act*.

A Public Information Centre (PIC) to present the Study findings is anticipated to be held later in 2023 and will be advertised as the Study progresses. Upon completion of this study, a Project File Report documenting the process will be submitted to the Ministry of the Environment, Conservation, and Parks and made available for public review for a period of 30 calendar days.

Information will be collected in accordance with the Municipal Freedom of Information and Protection of Privacy Act. With the exception of personal information, all comments will become part of the public record.



Study map

Have your say

Public, Indigenous, and agency consultation is a key component of the Class EA process and your input will be sought throughout the Study. If you wish to be placed on the mailing list to receive notices and information, or, if you wish to provide comments at any time during the Class EA process, you can do so by contacting the project contacts listed below. Project information and updates are on *Speak Up, Oxford!* at www.oxfordcounty.ca/speakup

Contacts

Gemma Charlebois, M.A.Sc., P.Eng. Project Manager, MTE Consultants Inc. 519-743-6500 ext. 1227 GCharlebois@mte85.com

Don Ford, BA, CMM III, C.Tech. Manager, Water and Wastewater Services Oxford County 519-539-9800 ext. 3191 dford@oxfordcounty.ca

This notice issued: date to be confirmed



March 4, 2023

Will Jaques, Corporate Services Manager/Clerk Township of East Zorra-Tavistock

Honorable Members of Council,

The Innerkip Easter Egg Hunt Committee held the Community Easter Egg Hunt at the Lion's Park in Innerkip last year, specifically in the green space just in behind the Community Centre. For these events in 2018 and 2019, and 2022, Council extended insurance to our event.

We respectfully request that, once again, members of Council approve that our community event be covered by the municipal insurance in case of liability caused by a participant being injured, though we do fully understand that insurance will not be extended to the volunteers themselves being injured. Through communication with Township staff, we are also aware that should this insurance coverage be approved, this will be the final year in which it will be extended for this event. We are now aware of the uniqueness of this arrangement and have, and will always be very much appreciative, of the graciousness of EZT Council for providing this coverage for our event. Going forward, we will look into other options for insurance purposes.

The details of the event, to the best of our knowledge, are listed below:

April 7, 2023 – late afternoon, early evening – set up of stakes on the ground to set up perimeter of the hunt areas for each age group.

April 8, 2023 – Egg Hunt complete set up. Event itself is scheduled to begin at 10:00am. Committee members and volunteers will be there at approximately 8:00am and be on site until the event is cleaned up thoroughly. We have made arrangements with Oxford County to bring in large recycling bins to reduce the amount of garbage generated from this event. The County will remove the bins from the property on Tuesday, April 11th.

There will be a volunteer Disc Jockey and a volunteer Master of Ceremonies on site as well.

We toss foil covered chocolate eggs, and larger plastic eggs filled with chocolate, in the zoned-off grass area for children to pick up, and also have prizes available for the participants. I have attached a copy of our poster, which is used each year, identifying for those with allergies that this is NOT a nut free event. There are 3 age group sections that are each run at different times of the event, which we have found to be effective. We also use volunteers to help to direct the crowd to areas of the field that their age group should be standing near for the egg hunt. Signage is also used to assist with directing the crowd.

Prior to leaving, we will ensure all garbage is picked up and placed in bins for proper disposal.

The following individuals are currently listed as volunteers for our event. Any additional volunteers will consist mainly of high school students who will assist with directing the crowd during the event.

Alicia McIntyre
Paul McIntyre
Lindsay Batte
Ryan Batte
Rachael Murphy
Evan Murphy
Jacqueline Singleton
Mike Singleton
Kyle Smith
Kelly Lyons
Jay Lyons

Should you have any further questions, I'm available by phone at 519-535-1860 or by email at lindsaybatte@gmail.com.

Thank you for your consideration,

Lindsay Cattle.

Lindsay Batte

Clerk's Note: As per the letter, this is a very unique arrangement for the Township whereby municipal insurance is extended to a private group - this is not and/or is no longer done by the Township for any other private group. Historically, this event was operated under the auspices of the Innerkip Recreation Committee (a Township Committee) and upon its dissolution in 2018, the Township agreed to extend its insurance coverage to the volunteers running this event. However, as the organization of parks and recreation continues to evolve for the Township, this would be an appropriate time for the practice to cease, and the group of volunteers are amenable to 2023 being the final year for this arrangement. Attached is a risk management bulletin from the Township's Insurer regarding Easter Egg Hunts, which was also shared with the organizers of the event.



Risk Management Considerations for Municipally Run Easter Egg Hunts

Let me paint you a picture:

- 100 small kids with baskets; some dressed up as bunnies
- Approximately 60 colourful hidden eggs
- A new municipal arena and
- · A minor hockey team

Three! Two! One! Go!

They're off! 100 small children running wildly in the hallways donning large bunny ears. 100 small children jumping in the elevator for surely the Easter bunny would have tucked some in there. 100 small children bouncing up cold, hard, concrete arena steps with oversized wicker baskets caught between their feet. Over 50 small children without treats because the minor hockey team who arrived prior to the start of the hunt helped themselves. Happy Easter!

Occupiers are always responsible for keeping people safe on their premises but the risk is increased during a special event. Having additional people in attendance, excited children who are not paying attention to their surroundings and providing food are all elements requiring careful consideration.

Risk Management Considerations

- Ensure your event is well thought out. Reserve a specific room or area for the hunt, such as a gymnasium.
- Loose wires are common trip hazards if you have electronic equipment at the event, ensure that wires are tucked neatly away to avoid visitors tripping over them.
- Ensure an adequate number of volunteers and staff members are present and briefed about the event.
 Communication is very important - by knowing where first aid kits are, who is responsible for what role and what to do in the event of an accident, most potential problems can be avoided.
- Post signs regarding the event so it is clear where Participants should be and which areas are off-limits.
- Note that dressing up could result in a trip hazard.
- Do not include stairs in the area where the hunt is located.
- Be selective about the types of candy you place in the eggs. Parents may not have the time to check what their child is eating. Small candies pose a choking hazard.



- Keep food allergies in mind when selecting the cand Page 22
- Have participants register and sign a Waiver so you know who will be present at the event and that every child is supervised. You will also know how many participants to expect.
- Have a Contingency plan. In the event of bad weather, consider moving the event indoors.

While Intact Public Entities Inc. does its best to provide useful general information and guidance on matters of interest to its clients, statutes, regulations and the common law continually change and evolve, vary from jurisdiction to jurisdiction, and are subject to differing interpretations and opinions. The information provided by Intact Public Entities Inc. is not intended to replace legal or other professional advice or services. The information provided by Intact Public Entities Inc. herein is provided "as is" and without any warranty, either express or implied, as to its fitness, quality, accuracy, applicability or timeliness. Before taking any action, consult an appropriate professional and satisfy yourself about the fitness, accuracy, applicability or timeliness of any information or opinions contained herein. Intact Public Entities Inc. assumes no liability whatsoever for any errors or omissions associated with the information provided herein and furthermore assumes no liability for any decision or action taken in reliance on the information contained in these materials or for any damages, losses, costs or expenses in a way connected to it. Intact Public Entities Inc. is operated by a wholly owned subsidiary of Intact Financial Corporation Intact Design® and Risk Management Centre of Excellence® are registered trademark of Intact Financial Corporation or its affiliates. All other trademarks are properties of their respective owners. TM & © 2021 Intact Public Entities Inc. and/or its affiliates. All Rights Reserved.





Report No: CP 2023-75
COMMUNITY PLANNING
Council Date: March 15, 2023

To: Mayor and Members of Township of East Zorra-Tavistock Council

From: Dustin Robson, Development Planner, Community Planning

Application for Zone Change ZN1-23-01 – Township of East Zorra-Tavistock

REPORT HIGHLIGHTS

- The Application for Zone Change proposes to rezone the subject lands from 'Village Zone (V)' to 'Residential Type 1 Zone (R1)' to ensure a consistent zoning across the whole of the lands.
- Planning staff are recommending approval of the application as the proposal is consistent with the policies of the Provincial Policy Statement and the general intent and purpose of the County Official Plan.

DISCUSSION

Background

<u>APPLICANT/OWNER:</u> Township of East Zorra-Tavistock

90 Loveys Street East, Hickson, ON N0J 1L0

AGENT: Murray & Diane Fishback

95 Loveys Street East, Hickson, ON N0J 1L0

LOCATION:

The subject lands are described as Lots 55-56 & 62-65, Plan 820, in the Township of East Zorra-Tavistock. The lands are located on the south side of Loveys Street East, between Highway 59 and John Street.

COUNTY OF OXFORD OFFICIAL PLAN:

Schedule "B-1" Township of East Zorra-Tavistock Settlement

Land Use Plan

Schedule "C-3" Settlement Strategy Plan Village

TOWNSHIP OF EAST ZORRA-TAVISTOCK ZONING BY-LAW 2003-18:

Existing Zoning: Village Zone (V)

Requested Zoning: Residential Type 1 Zone (R1)

PROPOSAL:

The purpose of the Zone Change Application is to rezone the subject lands from 'Village Zone (V)' to 'Residential Type 1 Zone (R1)'. The Township of East Zorra-Tavistock has is proposing to convey the lands to the abutting owners to the east (95 Loveys Street East) for the purpose of enlarging the existing residential lot. The residential property is zoned R1 and the proposed Zone Change would zone the lands being conveyed to R1, thereby creating a consistent R1 zoning across the whole of the 'new' residential lot.

The subject lands are approximately 418.4 m² (4,503.4 ft²) in area and are currently vacant of any buildings or structures. A well that is used exclusively by 95 Loveys Street East is located on the subject lands. Surrounding uses are generally residential or institutional in nature.

Plate 1 – <u>Location Map and Existing Zoning</u>, indicates the location of the subject property and the existing zoning in the immediate vicinity.

Plate 2 – Aerial Photography (2020), provides an aerial view of the subject property.

Plate 3 – <u>Aerial Photography (2020) Zoomed In</u>, provides a zoomed in aerial view of the subject property.

Plate 4 – <u>Applicant's Sketch</u>, shows the survey of the subject lands, which are labelled as Part 1, and the existing well on-site.

Application Review

2020 Provincial Policy Statement (PPS)

As per the PPS, settlement areas are urban and rural settlement areas, which include cities, towns, villages and hamlets and can vary significantly in terms of size, density population, economic activity, diversity and intensity of land uses, service levels and types of infrastructure available.

The PPS provides that the vitality and regeneration of settlement areas is critical to the long-term economic prosperity of our communities. Development pressures and land use changes will vary across Ontario, but it is in the interest of all communities to use land and resources wisely, to promote efficient development patterns, protect resources, promote green spaces, ensure effective use of infrastructure and public service facilities and minimize unnecessary public expenditures.

As such, the PPS provides that settlement areas shall be the focus of growth and development and land use patterns within settlement areas shall be based on densities and a mix of land uses which, among other matters, efficiently use land and resources and are appropriate for, and efficiently use, the infrastructure and public service facilities which are planned or available, and avoid the need for their unjustified and/or uneconomical expansion.

Official Plan

The subject lands are designated 'Settlement' according to the Township of Blandford-Blenheim Land Use Plan and as a 'Village' according to the Oxford County Settlement Strategy Plan as contained in the Official Plan. The 'Village' designation permits a range of land uses with the exception of residential development involving more than two units. Residential development within the 'Village' designation is intended to be low density in nature, including single detached dwellings and converted dwellings.

It is an objective of the Official Plan to provide for a supply of residential land that is sufficient to accommodate for the projected demand of new dwelling types over the planning period, taking into consideration opportunities for residential intensification within the Serviced Village designation.

Zoning By-law

The subject lands are currently zoned 'Village Zone (V)' according to the Township's Zoning Bylaw. The 'V' Zone permits a variety of commercial and residential uses, including, but not limited to, an eating establishment, a service shop, a single detached dwelling, and a converted dwelling. For a single detached dwelling, the V zone requires a minimum lot area of 2,800 m² (30,140 ft²), a minimum lot frontage of 35 m (114.8 ft), and a minimum lot depth of 50 m (164 ft).

As previously outlined, following the sale of the subject lands being conveyed to the owner of 95 Loveys Street East, the lands will merge together. 95 Loveys Street East is zoned 'Residential Type 1 Zone (R1).' The 'R1' zone permits a single detached dwelling and accessory buildings and structures. The 'R1' zone requires that a minimum lot area of 2,800 m² (30,140 ft²), a minimum lot frontage of 35 m (114.8 ft), and a minimum lot depth of 50 m (164 ft) where municipal sewer systems are not available (such as Hickson). As the lands are being added to 95 Loveys Street East, staff are of the opinion that it is good planning to rezone the subject lands to R1 to ensure that the newly reconfigured Loveys Street East is subject to a single, consistent zoning.

Section 2.3 of the Township's Zoning By-law outlines that where lands have more than one (1) zoning that each portion of the lands zoned differently shall be considered to be a separate lot for purposes of the zoning provisions (setbacks, lot coverage, etc.). As an example, if part of the lands are zoned R1 and part of the lands are zoned V then the R1 lands must meet the provisions outlined in Section 12 of the Township's Zoning By-law while the portion of land zoned V must adhere to Section 15 of the By-law. Buildings and structures shall not cross the line delineating the limits of the R1 and V zones as the line is required to be treated as a common lot line and relevant interior side yard widths are required to be maintained.

Agency Comments

The <u>Township's Chief Building Official</u>, <u>Township's Fire Chief</u>, the <u>Township's Public Works Department</u>, and the <u>Upper Thames River Conservation Authority (GRCA)</u> have indicated they have no comments respecting the application.

Public Consultation

Notice of the proposal was provided to the public and surrounding land owners in accordance with the requirements of the <u>Planning Act</u>. At the time of writing this report, no comments or concerns had been received from the public.

Planning Analysis

The subject lands comprise approximately 418.4 $\,\mathrm{m}^2$ (4,503.4 $\,\mathrm{ft}^2$) of area and are a part of Township-owned property on which the new Township Municipal Office is being constructed. The Township has been in discussions with the owners of 95 Loveys Street East regarding the sale of the subject lands which would see the lands conveyed to the owners of that property in order for the well that services 95 Loveys Street East to be on the same lot. Once the lands are conveyed, the lands would merge on title with 95 Loveys Street East. Prior to the sale, 95 Loveys Street East is approximately 1,006.7 $\,\mathrm{m}^2$ (10,836 $\,\mathrm{ft}^2$) in size. Following the sale of the subject lands, the 'new' lot created by the merger would result in a lot size of approximately 1,425.1 $\,\mathrm{m}^2$ (15,339.6 $\,\mathrm{ft}^2$) for 95 Lovey Street East.

With the merging of the two (2) properties, it would leave 95 Loveys Street East with two (2) different zonings with the western portion (subject lands currently owned by the Township) zoned V and the eastern portion zoned R1. While the lands would be one (1) lot following the merger, Section 2.3 of the Township's Zoning By-law directs that lots containing more than one (1) zone shall be considered separate lots for the purpose of applying zoning provisions (setbacks, lot coverage, etc.).

In light of the interpretation set out in Section 2.3 of the Township's Zoning By-law, staff are of the opinion that it is appropriate that the reconfigured 95 Loveys Street East be subject to one (1) zone. Having one (1) consistent zoning would allow the lands to function wholly as one (1) lot rather than two (2) separate lots for the purpose of the Zoning By-law.

The proposed zone change will have no negative land use impacts as the existing use of a single detached dwelling would continue and is permitted by the policies of the Official Plan and PPS. No objections to the application were raised during agency or public circulation.

In light of the foregoing, it is the opinion of this Office that the application is consistent with the policies of the PPS and maintains the general intent and purpose of the Official Plan. As such, Planning staff are satisfied that the application can be given favourable consideration.

RECOMMENDATIONS

1. It is recommended that the Council of the Township of East Zorra-Tavistock approve the zone change application submitted by the Township of East Zorra-Tavistock, whereby the lands described as Lots 55-56 & 62-65, Plan 820, in the Township of East Zorra-Tavistock, are to be rezoned from 'Village Zone (V)' to 'Residential Type 1 Zone (R1).'

SIGNATURES

Authored by: original signed by Dustin Robson, MCIP, RPP

Development Planner

Approved for submission: original signed by Gordon K. Hough, RPP

Director

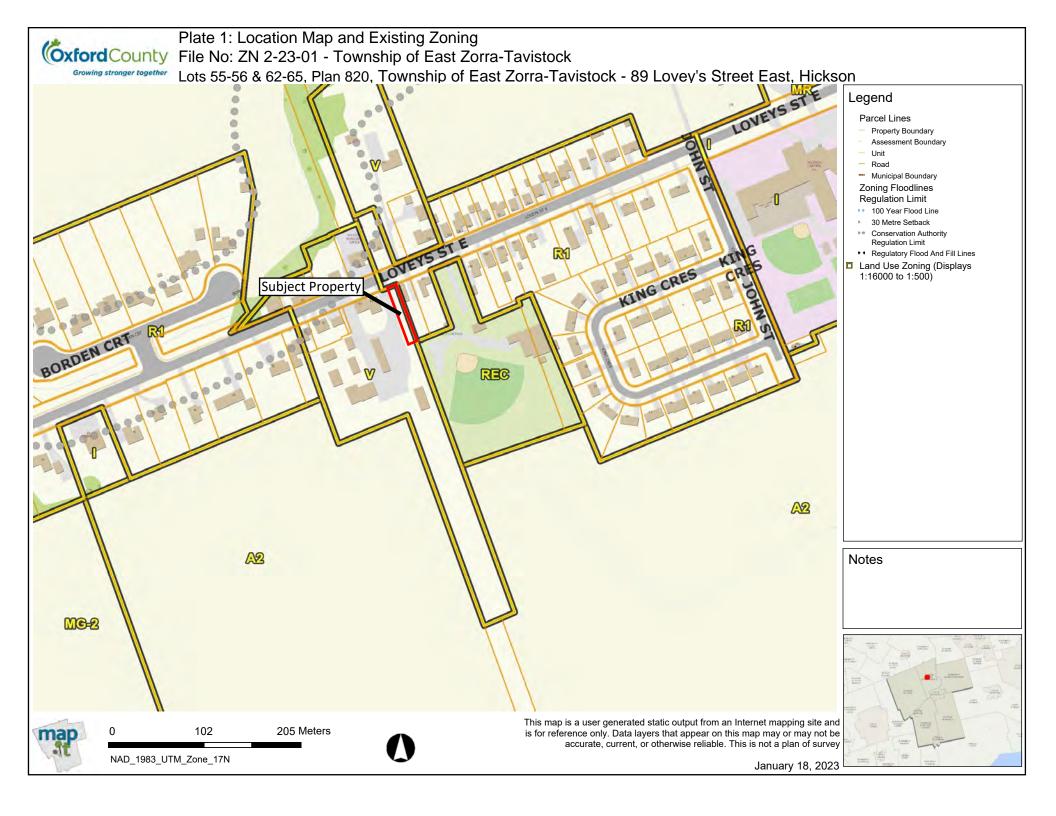
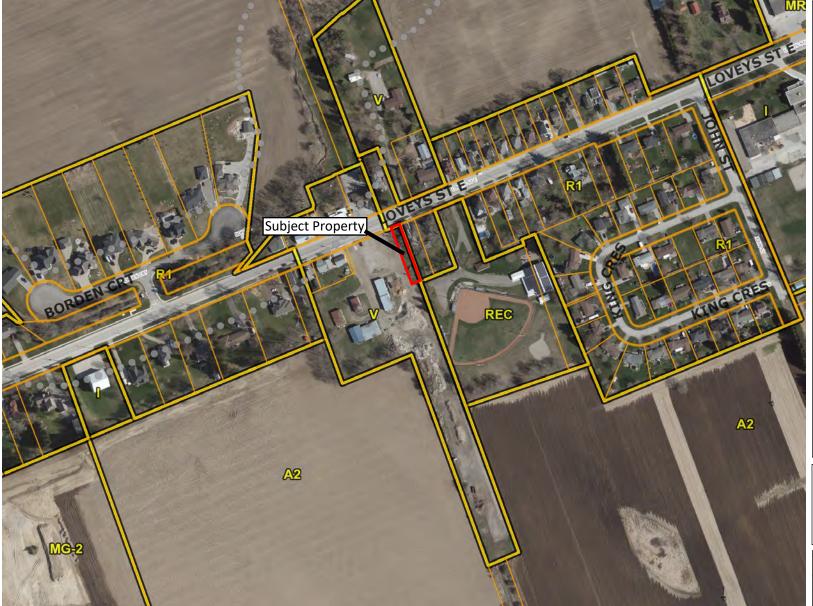




Plate 2: Aerial Photography (2020)

OxfordCounty File No: ZN 2-23-01 - Township of East Zorra-Tavistock

Lots 55-56 & 62-65, Plan 820, Township of East Zorra-Tavistock - 89 Lovey's Street East, Hickson



Legend

Parcel Lines

- Property Boundary
- Assessment Boundary
- Unit
- Road
- Municipal Boundary

Zoning Floodlines Regulation Limit

- 100 Year Flood Line
- 30 Metre Setback
- Conservation Authority Regulation Limit
- • Regulatory Flood And Fill Lines
- Land Use Zoning (Displays 1:16000 to 1:500)

Notes



102 205 Meters NAD_1983_UTM_Zone_17N



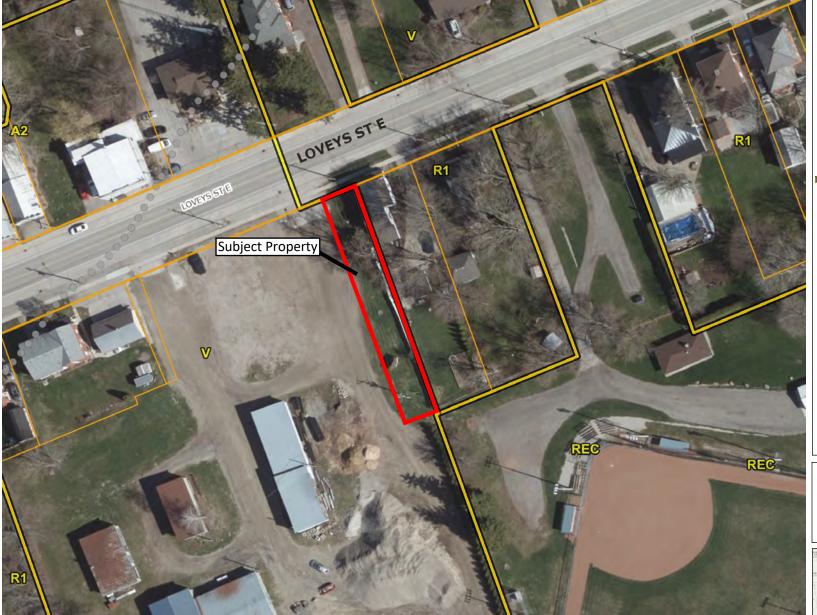
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. This is not a plan of survey



Plate 3: Aerial Photography (2020) Zoomed In

File No: ZN 2-23-01 - Township of East Zorra-Tavistock

Lots 55-56 & 62-65, Plan 820, Township of East Zorra-Tavistock - 89 Lovey's Street East, Hickson



Legend

Parcel Lines

- Property Boundary
- Assessment Boundary
- Unit
- Road
- Municipal Boundary

Zoning Floodlines Regulation Limit

- 100 Year Flood Line
- 30 Metre Setback
- Conservation Authority Regulation Limit
- • Regulatory Flood And Fill Lines
- Land Use Zoning (Displays 1:16000 to 1:500)

Notes





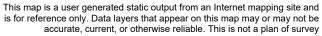


Plate 4: Applicant's Sketch PLAN 41R-10302 I REQUIRE THIS PLAN TO BE DEPOSITED UNDER THE File No: ZN 2-23-01 - Township of East Zorra-Tavistock RECEIVED AND DEPOSITED LAND TITLES ACT Lots 55-56 & 62-65, Plan 820, Township of East Zorra-Tavistock - 89 Lovey's Street East, Hickson 2022/04/21 19 APRIL 2022 COUNTY ROAD 8, LOVEYS STREET EAST (FORMERLY KING'S HIGHWAY 97) (ROAD ALLOWANCE BETWEEN LOTS 20 AND 21) (WIDTH VARIES) PIN 00244-0168 REPRESENTATIVE FOR LAND
REGISTRAR FOR THE LAND TITLES RALPH J. BENEDICT ONTARIO LAND SURVEYOR ORP A ORP B DIVISION OF OXFORD (No. 41) N67°21'00"E 203.103 15.804 (15.804, P1) 55.315 125.477 SSIB WIT IB(1375)(0.02 S) PART OF 00243-0187 PART OF LOT 55 JUDGE'S PLAN 820 LOT 71: LOT 70 PART 1 COMPRISES PART OF PIN 00243-0187 PLAN OF SURVEY AND PART OF LOT 51 LOT 50 LOT 55 JUDGE'S PLAN 820 GEOGRAPHIC TOWNSHIP OF EAST ZORRA TOWNSHIP OF EAST ZORA—TAVISTOCK LOT 54 COUNTY OF OXFORD LOT 61 SCALE: 1: 200 METRIC NA GEOMATICS LTD. ONTARIO LAND SURVEYORS SURVEYOR'S CERTIFICATE I CERTIFY THAT: THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT, AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM. 2. THE SURVEY WAS COMPLETED ON THE 18TH DAY OF MARCH 2022. JUDGES RALPH J. BENEDICT DATE ONTARIO LAND SURVEYOR PIN 00243-0047 PIN 00243-0046 LEGEND AND NOTES: BEARINGS ARE GRID, UTM ZONE 17 NAD83 (CSRS-2010) FROM THE CANSEL CAN-NET REAL TIME NETWORK, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, SHOWN HEREON. FOR BEARING COMPARISONS, A ROTATION OF 0'01'25" PIN 00243-0187 COUNTER-CLOCKWISE CAN BE APPLIED TO CONVERT TO ASTRONOMIC DISTANCES ON THIS PLAN ARE ADJUSTED GROUND LEVEL DISTANCES AND CAN BE USED TO COMPUTE GRID CO-ORDINATES BY MULTIPLYING BY A COMBINED SCALE FACTOR OF 0.99956894 OBSERVED REFERENCE POINTS ARE DERIVED FROM GPS OBSERVATIONS USING THE CANSEL CAN-NET VRS NETWORK AND ARE REFERRED TO UTM ZONE 17 (81'00' LONGITUDE WEST) NAD83 (CSRS 2010) COORDINATES TO URBAN ACCURACY IN ACCORDANCE WITH SECTION 14(2) OF O.REG 216/10 **EASTING** NORTHING 515850.37 4787316.03 515662.93 4787237.81 COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN. DENOTES FOUND SURVEY MONUMENT DENOTES PLANTED SURVEY MONUMENT DENOTES STANDARD IRON BAR DENOTES SHORT STANDARD IRON BAR DENOTES IRON BAR 0.594~ DENOTES PLASTIC BAR DENOTES ROUND IRON BAR DENOTES MEASURED DENOTES WITNESS 15.559 (15.533, P1) **>** DENOTES DEPOSITED PLAN 41R-9997 DENOTES URE AND SMITH NOTES N-22-40 - 6.505 SET > $\frac{1}{0.35}$ NA GEOMATICS LTD. N67°40'50"E N67°40'50"E meas ONTARIO LAND SURVEYORS 107 ERIE STREET, STRATFORD, ON., N5A 2M5 PIN 00243-0048 LOT 56 TEL: 519-273-3205 METRIC 871 DUNDAS ST., WOODSTOCK, ON., N4S 1G8 LOT 57 TEL: 519-537-6212 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY Cad File: 21-7124_rplan_Ab.dwg Date: 2022 April 12 0.3048 Checked By: RJB/JR File No. Drawn By: M. POTROS

21-7124

Community Planning

P. O. Box 1614, 21 Reeve Street Woodstock Ontario N4S 7Y3

Phone: 519-539-9800 • Fax: 519-421-4712

Web site: www.oxfordcounty.ca

Our File: **A03-23**

APPLICATION FOR MINOR VARIANCE

TO: Township of East Zorra-Tavistock Committee of Adjustment

MEETING: March 15, 2023 **REPORT NUMBER:** CP 2023-92

OWNERS: Judith & Tara Williams

675648 16th Line, Innerkip, ON N0J 1M0

VARIANCE REQUESTED:

Relief from **Section 7.2.4 - Number of Accessory Dwellings and Garden Suites Per Lot**: to permit the establishment of a second accessory detached dwelling.

LOCATION:

The subject lands are legally described as Part Lot 11-12, Concession 16 (East Zorra), Township of East Zorra-Tavistock. The lands are located on the northeast corner of the 16th Line and Oxford Road 33 intersection, and are municipally known as 676848 16th Line.

BACKGROUND INFORMATION:

COUNTY OF OXFORD OFFICIAL PLAN:

Schedule 'E-1' Township of East Zorra-Tavistock Agricultural Reserve

Land Use Plan

TOWNSHIP OF EAST ZORRA-TAVISTOCK ZONING BY-LAW:

General Agricultural Zone (A2)

COMMENTS:

(a) Purpose of the Application:

The applicants are proposing relief from the above-noted provisions of the Township Zoning Bylaw to permit an existing temporary second permanent detached dwelling, accessory to an existing cash crop and horse operation, to be permitted permanently.

It is proposed that the second dwelling will continue to be occupied by one (1) of the landowners, who is associated with the farm operation. The dwelling unit being proposed to become permanent is located within the second and third storeys of an existing detached garage and the total residential floor space is approximately 217.2 m² (2,338 ft²).

The subject lands are approximately 36.2 ha (89.5 ac) in area, with approximately 895 m (2,936.3 ft) of frontage along 16th Line and approximately 300 m (984.2 ft) of frontage along Oxford Road 33. The subject lands contain a drive shed, a horse barn, a hay barn, two detached garages, and an approximately 255.4 m² (2,750 ft2) single detached dwelling accessory to the farm.

The existing residential unit above the detached garage was originally approved through Variance Application A05-13 for a period of five (5) years. The permission for the residential unit has since lapsed and the applicants are now proposing that the residential unit be permitted permanently moving forward.

Plate 1, <u>Existing Zoning & Location Map</u>, shows the location of the subject property and existing zoning in the vicinity.

Plate 2, Aerial Photography (2020), provides an aerial view of the subject lands.

Plate 3, <u>Aerial Photography (2020) Zoomed In</u>, provides a zoomed in aerial view of the subject lands.

Plate 4, <u>Applicant's Sketch</u>, shows the details of the existing buildings on the subject lands, as provided by the applicants.

(b) Agency Comments

The <u>Township Chief Building Official</u> has indicated that a permit is required for the change of use to residential and that septic verification is required.

The <u>Township Fire Chief</u>, the <u>Township Director of Public Works</u>, and the <u>Upper Thames River Conservation Authority (UTRCA)</u> have indicated they have no comments or concerns with the proposal.

(c) Public Comments

Public Notice was provided by mail to surrounding landowners in accordance with the requirements of the <u>Planning Act</u>. At the time of writing this report, no comments or concerns had been received from the public.

(d) <u>Intent and Purpose of the Official Plan:</u>

The subject lands are designated Agricultural Reserve, according to the Land Use Plan for the Township of East Zorra-Tavistock, as contained in the Official Plan.

Within the Agricultural Reserve designation, lands are to be developed for a wide variety of agricultural land uses, including general farming and cash crop farms, together with farm buildings and structures necessary to the farming operation, including accessory residential uses required for the farm.

It is an objective of the Official Plan to permit the development of on-farm dwellings only where they are required to support the farm activity and to ensure that new dwellings will only be established for people associated with the farm activity.

In May 2022, Oxford County Council approved new policies that impacted agricultural lands within the County. While the policies were adopted by County Council, the policies have yet to be approved by the Province as of the writing of this report. The new policies do permit additional residential units associated with a farm operation in the form of temporary dwellings (such as mobile or modular homes) and permanent detached dwellings, provided they satisfy a number of criteria.

Specifically, the policies require that Township Council shall be satisfied of the following;

- The size and scale of the farm unit in terms of land area and livestock or poultry currently warrants the need for an additional dwelling unit;
- The size of the farm parcel is in keeping with the policies of the Official Plan and the provisions of the Township Zoning By-law;
- The number of existing farm-related dwellings already on the farm unit cannot adequately serve the needs of the farm operation;
- The principal farm dwelling unit is occupied by the farmer or a retired farmer,
- The additional dwelling unit is located so as to be in close proximity to the principal farm dwelling, minimize the area of agricultural land used, and utilize lands within existing constraints for agriculture where they exist;
- The on-site services are deemed to be adequate or will be made adequate to serve the proposed use; and,
- The proposal shall comply with all other policies of the Official Plan.

The Official Plan further states that where a proposed additional farm dwelling is intended to be a permanent dwelling unit, the new dwelling will need to be demonstrate the following:

- The type, size and scale of the farm operation clearly justifies the continued need for an additional dwelling to house farm labour required on a full-time, year round or extended seasonal basis, over the long term;
- There are no other agricultural lots in the area that are part of the *farm unit* and would already permit the construction of a dwelling;
- The dwelling will be located in close proximity to the existing dwelling on the lot, so as to form a single site for on-farm residential uses that does not exceed 0.8 hectares (2 acres) in total area, including the area used for the dwellings and accessory residential buildings, driveways, outdoor amenity areas and *individual on-site sewage services*;
- The dwelling will use the existing driveway serving the principal farm dwelling for vehicular access to a public road; and,
- The dwelling will satisfy MDS I, or not further reduce an existing insufficient MDS I setback.

The subject lands are currently in agricultural production (cash crop) and contain a horse operation that consists of the landowner's horses and donkey and horses that are boarded onsite. Planning staff are of the opinion that the current farm operation (type, size, and scale) appears to have a legitimate need for the second accessory detached dwelling. The size of the farm, that being 36.2 ha (89.5 ac), and the number and type of livestock (horses) appear to warrant additional resources for farming help in the existing circumstances.

While the adopted policies call for residential uses to be clustered together in an area not exceeding 0.8 ha (2 ac) in size, it is acknowledged that the existing building cluster is approximately 1.3 ha (3.2 ac) in size. Staff note, however, that the cluster contains livestock uses (barns, paddocks, etc.) in addition to the residential uses, which are at opposite ends of the cluster. Despite the fact that the cluster exceeds 0.8 ha (2 ac) in size, staff are of the opinion that the proposal generally meets the intent of the policies by ensuring that additional agricultural land loss is avoided by having the second detached dwelling unit in an existing building.

While the above analysis speaks to the adopted but yet to be implemented policies concerning a second dwelling that is accessory to a farm, the proposal was also reviewed against the existing policies as well. The existing policies in the Official Plan concerning a second dwelling accessory to a farm are generally similar but do differ in the fact that the second dwelling is to be established in the cluster of farm buildings but does not limit the size of the cluster to 0.8 ha (2 ac) in size. The existing policies also allow for the principal dwelling to be used by hired help and does not require the demonstration that no other lot that is a part of the farm unit is suitable for the second dwelling.

It is the opinion of Planning staff that the application generally complies with the criteria outlined in both the existing Official Plan polices relating to a second dwelling accessory to a farm and the recently adopted but yet to be implemented policies relating to a second dwelling accessory to a farm. The applicants have demonstrated that the farming operation warrants a second dwelling, that the proposed dwelling will be occupied by a family member involved with the farming operation, and the proposed dwelling is located in the existing farm cluster of buildings on the property. Given this, staff are of the opinion that the proposal is in keeping with the policy direction of the Official Plan.

(e) <u>Intent and Purpose of the Zoning By-law:</u>

The subject lands are zoned 'General Agricultural Zone (A2)' in the Township of East Zorra-Tavistock Zoning By-Law 2003-18. The 'A2' zone permits a range of agricultural uses, including livestock and regulated farm operations, as well as buildings and structures accessory thereto.

Section 7.2.4 of the Zoning By-Law states that a maximum of one (1) single detached dwelling is permitted on an 'A2' zone, except that a maximum of three (3) accessory single detached dwellings may be permitted on a farm or regulated farm, subject to approval of the Committee of Adjustment. The intent of this provision is to ensure that dwellings located on a farm or regulated farm are necessary for the scale and type of operation and will be directly associated with the farming operation.

As the proposed dwelling will be occupied by a family member that is directly involved in the farming operation and the scale and size of the farming operation appears to warrant a second dwelling, staff are of the opinion that the proposal complies with the intent of the Zoning By-law in this regard.

Sections 7.2.2 and 7.2.3 provide that new farm dwellings shall be required to satisfy the Minimum Distance Separation (MDS I) requirements, or not further reduce an existing insufficient setback. The purpose of the MDS I setbacks is to ensure that there is adequate distance between proposed sensitive uses, such as a dwelling, and existing livestock operations within the vicinity. When the dwelling unit was approved in 2013 it was determined to be in compliance with MDS I and the Chief Building Official (CBO) has advised that the unit continues to comply with MDS I.

Planning staff are generally of the opinion that approval of the applicant's request to allow the existing residential dwelling unit to remain permanently is not anticipated to create additional land use conflicts and, as such, the application is in keeping with the overall intent of the Township Zoning By-law.

(f) Desirable Development/Use:

The Official Plan provides in Section 10.3.6 that the Committee of Adjustment shall take the following into account when considering if a variance is desirable;

- whether constraints and/or restrictions to meeting the requirements of the Zoning By-law due to the physical or inherent conditions of the site are involved;
- whether alternative designs of the proposal which would be in conformity with the relevant By-law are clearly not feasible or appropriate for the site;
- the concerns of the effect on adjacent owners, residents and community in general have been considered:
- the approval of the minor variance would not create an undesirable precedent, and;
- that compliance with the standards of the relevant By-law would be unreasonable or impossible and would impose an undue hardship on the applicant.

The dwelling unit proposed to remain permanently has existed on the site since 2013 following the temporary approval by the Committee of Adjustment. Since that time, the unit has been used by one of the landowners who has been actively involved in the day to day operations and who will continue to be similarly involved.

The request to make the unit permanent would not introduce a new land use given that the unit has existed for a decade. Further, as demonstrated in the initial temporary approval, the location of the dwelling complies with MDS I requirements and thus does not impose a negative impact on surrounding agricultural operations.

In light of the foregoing, Planning staff are satisfied that requested relief to allow the existing temporary second detached dwelling accessory to a farm to remain permanently is in-keeping with the general intent and purpose of the County Official Plan and Township Zoning By-Law, is minor in nature, is desirable for the development of the land, and can be given favourable consideration.

RECOMMENDATION:

That the Township of East Zorra-Tavistock Committee of Adjustment <u>approve</u> Application File A03-23, submitted by Judith and Tara Williams for lands described as Part Lot 11-12, Concession 16 (East Zorra), in the Township of East Zorra-Tavistock as it relates to:

Relief from Section 7.2.4 - Number of Accessory Dwellings and Garden Suites Per Lot to permit the establishment of a second, permanent accessory detached dwelling, subject to the following condition:

a. The requested relief shall only apply to permit the existing second accessory dwelling unit at the approximate location as shown on Plate 4 of Report No. CP 2023-92.

As the proposed variances are:

- i) in keeping with the general intent and purpose of the County's Official Plan;
- ii) minor variances from the provisions of the Township of East Zorra-Tavistock Zoning By-Law No. 2003-18;
- iii) desirable for the appropriate development or use of the land, building or structure; and,
- iv) in keeping with the general intent and purpose of the Township of East Zorra-Tavistock Zoning By-Law No.2003-18

Development Planner

Gordon K. Hough, RPP Director Approved by: original signed by:

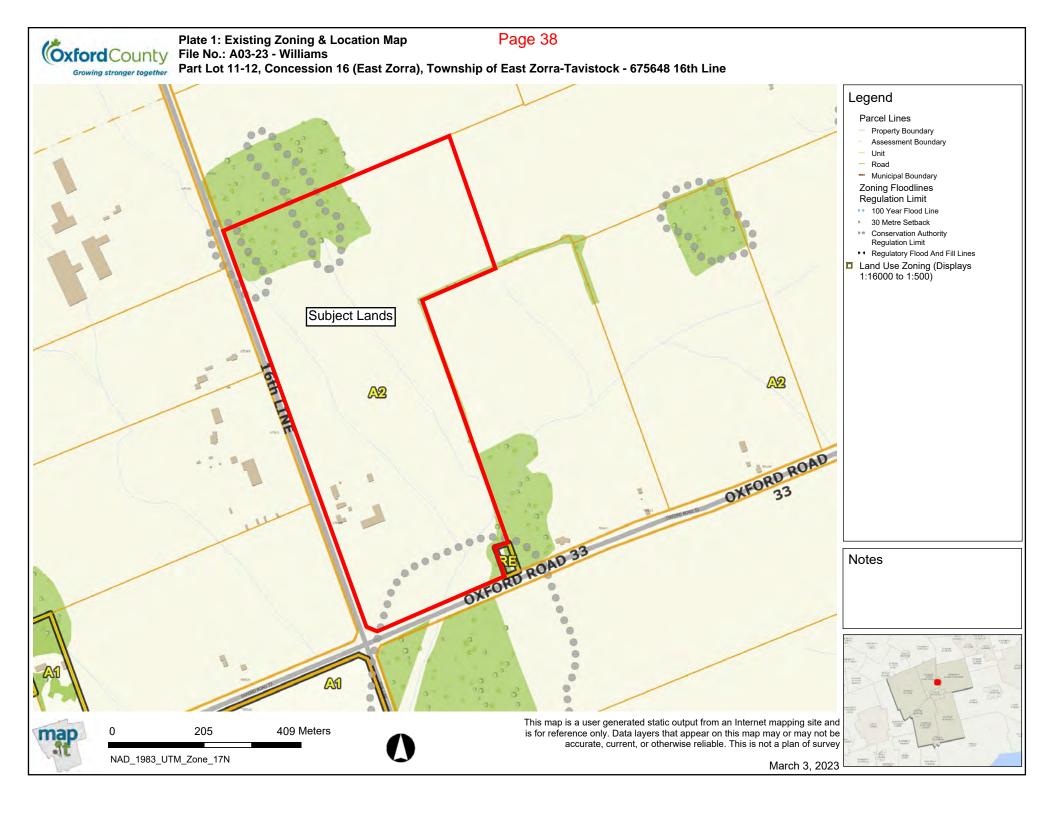




Plate 2: Aerial Photography (2020)

File No.: A03-23 - Williams

Part Lot 11-12, Concession 16 (East Zorra), Township of East Zorra-Tavistock - 675648 16th Line

Page 39



Legend

Parcel Lines

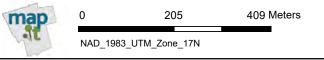
- Property Boundary
- Assessment Boundary
- Unit
- Road
- Municipal Boundary

Zoning Floodlines Regulation Limit

- 100 Year Flood Line
- 30 Metre Setback
- Conservation Authority
 Regulation Limit
- • Regulatory Flood And Fill Lines
- □ Land Use Zoning (Displays 1:16000 to 1:500)

Notes







This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. This is not a plan of survey



Plate 3: Aerial Photography (2020) Zoomed In

Part Lot 11-12, Concession 16 (East Zorra), Township of East Zorra-Tavistock - 675648 16th Line

Page 40



Legend

Parcel Lines

- Property Boundary
- Assessment Boundary
- Unit
- Road
- Municipal Boundary

Zoning Floodlines Regulation Limit

- 100 Year Flood Line
- 30 Metre Setback
- · Conservation Authority Regulation Limit
- Regulatory Flood And Fill Lines
- Land Use Zoning (Displays 1:16000 to 1:500)

Notes





102

NAD_1983_UTM_Zone_17N

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. This is not a plan of survey

Prior to adjourning to the COR, Council will appoint three (3) members to the COR, and name a Chairperson for the COR.

AGENDA for COURT OF REVISION Tavistock Drain 1985 – Reconstruction 2023

- 1. Court opens (by resolution)
- 2. Written appeals received to the drain (Clerk)?
- 3. Chair Asks Engineer for comments

If there are verbal appeals:

- 4. Court must pass a resolution to accept any late appeals, or any verbal/written appeals from landowners present
 - Asks landowner(s) to state concerns
 - Asks Engineer for comments
- 5. After all appeals are heard (if any):
 - Deliberation by members of COR
 - Clarification from appellants or Engineer, if required to make decision
- 6. Court determines how appeals will be settled
 - Accept recommendation of Engineer?
 - Members agree on alternate recommendation?

If no verbal appeals:

- 7. Resolution(s) passed to adopt recommendations, amend assessments, etc.
- 8. Chair informs appellants that if they are not satisfied with the decision of the COR, they have 21 days in which to appeal to the Drainage Tribunal. (last day to submit appeal to the Clerk will be <u>April 5</u>, 2023)

If no appeals:

- 9. Resolution passed to sustain assessments.
- 10. Court adjourns and Council reconvenes (by resolution).

Understanding Court of Revision Procedures Under the Drainage Act

Sharon McCartan, OMAFRA

FEBRUARY 2010

INTRODUCTION

The Court of Revision is an appeal body established under the Drainage Act and administered by the local municipality. The Court of Revision allows landowners to challenge their drainage assessments quickly and informally. Unlike the Drainage Tribunal or the Drainage Referee, the Court of Revision has one power – to reallocate funds in a drainage assessment schedule.

To learn more about assessments under the Drainage Act, refer to fact sheet Agdex 557 Order # 92-035, "Understanding Drainage Assessments."

STEPS LEADING UP TO THE COURT OF REVISION

The Drainage Act sets out a democratic process for constructing new drains or improving existing drains. The following is a very basic outline of how a typical report would get to the Court of Revision. Refer to the Drainage Act for specific process requirements.

- One or more property owners submit a petition for drainage to their municipality. A project to improve an existing drain can also be initiated with a landowner request to council.
- The Council reviews the petition or request and decides whether to accept it.
- If accepted, Council sends a notice to the petitioner(s) and the local Conservation Authority, or, where a Conservation Authority does not exist, to the Minister of Natural Resources.
- After a 30 day period Council appoints an engineer to prepare a report.
- After completion of all meetings, surveys, design calculations or possible preliminary reports, the Engineer submits a final report which includes an assessment schedule that levies a share of the project cost on individual properties.
- The report is considered by council at a "meeting to consider the report". The property owners affected by

- the drain are invited to this meeting and have an opportunity to influence council's decision.
- If council decides to proceed with the project, they give two readings of a bylaw adopting the report; at this stage, the bylaw is known as a 'provisional bylaw'.
- A copy of the provisional by-law and a notice of the date and time of the Court of Revision hearing is sent to all involved property owners.
- The Court of Revision must be held before the third and final reading of the bylaw.

As you can see, quite a few steps must occur before a municipality can hold the Court of Revision's first sitting.

APPEALS PROCEDURE AND TIMELINES 1 - Notice of the Sitting of Court

The municipal clerk must send notice of the first sitting of the Court to all landowners in the watershed of the proposed drain. The notice must be sent not more than 30 and not less than 20 days before the Court date. The notice must also be sent within 30 days of the second reading of the provisional bylaw. This notice must include:

- Date and time of the Court of Revision
- A copy of the provisional bylaw
- Procedure for Filing an Appeal

2 – Appeal Notice

Owners must send their appeal notices to the municipal clerk at least 10 days in advance of the date for the Court.

However, at their first sitting, the Court may, by resolution, agree to hear appeals that were not filed 10 days prior to the hearing date. (by resolution)



3 - Hearing

The municipality holds the hearing. For more detail on how to run a Court of Procedure hearing, refer to "Suggested Procedure," below.

4 - Appeals from the Court of Revision

All decisions made can be appealed to the Agriculture, Food and Rural Affairs Appeal Tribunal within 21 days of the pronouncement of the Court of Revision's decision.

5 - Authorizing Bylaw

After all assessment appeals to the Court of Revision, Tribunal or Referee are exhausted, Council gives third reading to the authorizing bylaw. Due to the appeals process, 40 days is the minimum amount of time that mustpass between mailing the notice of the Court's first sitting, to giving the by-law its third reading. If landowners file appeals, the process will likely take longer.

THE ROLE OF THE CLERK

- The municipal clerk receives all notices of appeal to the Court of Revision.
- In advance of the Court of Revision hearing, the clerk should make a list of all appeals specifically listing the name of the appellant, the property of the appellant, the amount of the assessment and a summary of the grounds for the appeal
- If the Court of Revision is considering the reduction of a property assessment and is considering adding this reduction to a property whose owner is not in attendance, the court must adjourn. The clerk schedules a second sitting of the Court and notifies all property owners affected by the reduction.
- The clerk also alters any assessments changed by the Court and amends the provisional bylaw.

THE ROLE OF THE MEMBERS OF THE COURT OF REVISION

- Members of the Court may hear appeals on three grounds:
 - 1) Land or road has been assessed too high or low.
 - 2) Land or road should have been assessed but has not.
 - 3) Due consideration has not been given to the land's use.
- The members of Court must hear these appeals and decide whether they are valid. The members must comply with the *Statutory Powers Procedure Act*, and they must conduct themselves fairly and without bias.
- The Court only has authority to change the schedule of assessments; they cannot make changes to the technical aspects of the report and they cannot refer the report back to the engineer for modifications.

- Total costs of the project must remain the same, which means that if the Court reduces an assessment, the Court re-allocates the shortfall among other assessed property owners.
- If the Court is considering adding to the assessment of one or more properties whose owners are not in attendance, the Court must adjourn and send notice to assessed property owners who were not at the Court of Revision at the time of the re-allocation. This allows the re-assessed landowners to appeal their new assessments.

THE ROLE OF THE APPELLANT

- If a landowner feels an assessment against their lands is too low, that land should have been assessed but has not, or that consideration has not been given to land use, they can file an appeal with the Court of Revision.
- Appeals must be filed with the clerk at least 10 days before the date of the Court of Revision.
- If a landowner wishes to appeal, but misses the date for filing the appeal, they can appear at the first sitting of the Court of Revision and request to have their appeal heard.
- At the sitting of the Court, the list of appellants will be read out and the Engineer will give evidence. When his or her time to present their case comes, the appellant must explain their reasons for appealing the assessment schedule.
- After the Court of Revision pronounces their decision, affected property owners have 21 days to appeal this decision to the Agriculture, Food and Rural Affairs Appeal Tribunal and the Tribunal's decision on this appeal is final.

COMPOSITION OF THE COURT OF REVISION

- If a drainage works only affects the initiating municipality, the initiating municipality's council appoints 3 to 5 members to make up the Court of Revision.
- If a drainage works affects two or more municipalities, the council of the initiating municipality appoints two members of the Court; and every other involved municipality appoints one person to be a member. One of the members appointed by the initiating

- municipality is the chair of the Court of Revision.
- To be eligible to sit as a Court of Revision member, the individual must be eligible to seek election as a member of council.
- Members of council may be appointed as members of the Court. However, the two roles must be kept separate – if a council member wishes to hear information or pass resolutions outside of the scope of the Court of Revision, they must close the Court, then open a new council meeting.

SUGGESTED PROCEDURE

- Opening of the Court of Revision
- Oaths
 - Members may take an oath, but it is not legally required.
 - Members are still legally required to act fairly and impartially, whether they declare this publicly as an oath or not.
- · Order of Appeals
 - The appeals and the order in which they will be held are read out.
- Engineer Gives Evidence
 - The engineer gives his or her evidence regarding each appeal before the Court, per s. 55 of the Act.
- Appellants Present their Case
 - The landowners orally make a case for why their land was improperly assessed before the members of court.
 - o The engineer may rebut the landowner's case.
- Late Appeals
 - o If the Court of Revision members choose, they agree to entertain late appeals, per s. 52(2) of the Act.
- Deliberations
 - The Court of Revision members should retreat to deliberate these appeals and make decisions in private.
 - o If court is considering reducing an assessment and adding it to a property whose owner is not present, then they must adjourn the Court of Revision, send notice to the absent parties to allow them to appeal the change, then reconvene, per s. 53 of the Act.
- Closing the Court of Revision and Rendering a Decision
 - o The Court of Revision may give oral decisions on each appeal but this oral decision should be followed up with a decision in writing.
- Choosing which schedule to adopt

- o The Court of Revision should document whether they decided to adopt an altered version of the assessment schedule, or whether they chose to adopt the schedule as presented by the engineer.
- o A sample decision is included below.

FURTHER INFORMATION Related Factsheets

Understanding Drainage Assessments, Agdex 557 Drainage Act Appeals, Agdex 557

Author Information

These Court of Revision guidelines were authored by Sharon McCartan, OMAFRA, Environmental Management Branch, Guelph, Ontario. Reviewed by Sid Vander Veen, Drainage Coordinator, and by Andy Kester, Drainage Inspector.

Sample Decision of the Court of Revision: DECISION of the COURT OF REVISION RE: _____ Municipal Drain Decisions Pronounced on the ___ day of _____, 20___ Appeal #1 - Appellant: _ Property: _ Appeal Summary: Assessment should be lowered because a portion of the property drains into another municipal drain. Decision: That the assessment of costs on Lot 19, Con 84, Roll #0330 be reduced by two thirds from \$300.00 to \$100.00 and that the difference of \$200.00 be assessed to municipal road. Appeal #2 - Appellant: _ Property: _ Appeal Summary: The crop damage allowance is insufficient and should be increased. Decision: The appeal is dismissed as it is outside the jurisdiction of the Court of Revision. Property owners have the right to appeal their allowances to the Agriculture, Food and Rural Affairs Appeal Tribunal. Property: _ Appeal #3 - Appellant: Appeal Summary: Assessment should be lowered because the engineer has calculated the assessment based on 100% agricultural land use; actual use is 50% agriculture and 50% bush. Decision: The assessment on this property is reduced by \$300 and the reduction is added to the assessment on property _ . The owner of this property was present at the hearing of the court of revision. Appeal #4 - Appellant: _ Property: _ Appeal Summary: Assessment should be lowered because the owner has no intention of using the land for agricultural purposes. Decision: That the appeal be dismissed. Property still has the potential to be used for agriculture and has been assessed at similar rates to nearby agricultural properties. Appeal #5 - Appellant: _ Property: _ Appeal Summary: Assessment on all private properties should be reduced and an environmental agency should be charged \$5000 for the cost of studies that were required for the agency's approval of the project. Decision: The appeal is dismissed. The Drainage Act only allows properties to be assessed and the environmental agency is not a property owner. FURTHER APPEAL RIGHTS If dissatisfied with the Decisions of the Court of Revision which were pronounced on the ____th day of _ _, 20___, anyone may appeal this decision to the Agriculture, Food and Rural Affairs Appeal Tribunal by filing a notice of appeal with Clerk of the municipality within 21 days of the date of this decision. Signed: _(name), Chair Court of Revision for the _____ _ Municipal Drain Dated this ____th day of _____, 20___. ____, Clerk Municipality of _ Sample Court of Revision Decision. A written decision should be mailed to every appellant after the hearing concludes.

For more information: Telephone: 1-888-466-2372 E-mail: about.omafra@ontario.ca

www.ontario.ca/omafra

ENGINEERING REPORT

For

TAVISTOCK DRAIN 1985 RECONSTRUCTION 2023

TOWNSHIP OF EAST ZORRA-TAVISTOCK

County of Oxford

January 18, 2023 File No. 21-135



Tel: 519-748-1199 Fax: 519-748-6100

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Definitions/Abbreviations:

"Twp" means Township
"UTRCA" means Upper Thames River Conservation Authority

"dia." means diameter

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January 18, 2023

File No. 21-135

TAVISTOCK DRAIN 1985 RECONSTRUCTION 2023 TOWNSHIP OF EAST ZORRA-TAVISTOCK

1 SUMMARY

This is a drainage report prepared pursuant to Sections 4 and 8 of the Drainage Act, RSO 1990. The Report was prepared in accordance with instructions from the Township of East Zorra-Tavistock pursuant to Council resolutions dated September 1st and October 6th, 2021 appointing the Engineer to prepare a report on two separate petitions signed by Canada Farm Distributors Ltd. The petitions were dated August 11th and August 18th, 2021, respectively, and each identified the required work to be the relocation of the existing Tavistock Drain 1985 in Pt. Lots 126 to 128, Registered Plan 307, Part 2 Plan 41R-1977 in the community of Tavistock.

The proposed new drain will be known as the <u>Tavistock Drain 1985 Reconstruction 2023.</u>

The work undertaken with the preparation of this Report has followed the normal procedures of the Drainage Act, which have involved an on-site meeting, review of the site, survey work and design, and the preparation of a report to include plan and profile drawings, cost estimates, specifications, and assessments.

The main purpose of this Report is to provide for the relocation/reconstruction of the lower portion of the Tavistock Drain 1985 to accommodate two proposed developments. One by PeopleCare Centres Inc. and the second by 2825085 Ontario Inc.

The second purpose of this Report will provide for the reapportionment to the Schedules of Assessment for Future Maintenance for the Tavistock Drain 1985 and the downstream affected Hohner Drain, in accordance with Section 65 of the Drainage Act. Reapportionments are necessitated due to the proposed recently severed (and to be developed) properties from Canada Farms Distributors Ltd., as well as the recently constructed Ponds subdivision by the same owners of 2825085 Ontario Inc., located in the upper Tavistock Drain 1985 watershed.

The proposed drain reconstruction/relocation will replace approx. 335m of the existing Main Drain which flows southwesterly as it crosses through the PeopleCare Centres Inc. and 2825085 Ontario Inc. properties between Hope Street West and Woodstock Street South.

The relocation of this section of the Tavistock Drain 1985 will contain 255m of 1050mm diameter concrete pipe (upsized from the existing 900mm diameter), as well as 160m of 975mm diameter concrete pipe (also upsized from the existing 900mm diameter). This upgrade is a requirement of the Township in order to meet the recommendations of the Tavistock Master Storm Drainage System Plan (R.J. Burnside and Associates Limited) dated July 2007.



This Report contains estimates of the costs pursuant to the Drainage Act to address the Tavistock Drain 1985 reconstruction work. Only items of work directly affecting the Tavistock Drain 1985 is costed here. This Report recognizes that the actual construction work involved may be tendered or done by the developer's contractor, and that all costs will be paid by the developer. The subdivider will also be assessed the allowances, and the engineering in connection with this Report, including any municipal (Township) administration and construction supervision costs incurred. It is also recognized that the proposed reconstruction of the drain can only be undertaken if authorized by an adopted Engineer's Report pursuant to the Drainage Act. This constitutes the required Report.

The total estimated cost associated with this Report related to the Tavistock Drain 1985 Reconstruction 2023 is \$1,100,000. This estimate is based on this Engineer's estimate (for the fixed allowances, drain construction, engineering, construction supervision and administration costs), and does not include any engineering incurred by the Subdivider's Engineer, or any municipal (Township) administration and supervision costs.

The following Assessment Schedules and Tables are provided:

- Schedule A Schedule of Assessments shows the assessment of the total estimated cost of the project to the affected owners.
- Schedule B Schedule for Actual Cost Bylaw contains data that summarizes all estimated gross and net assessments. It will be of assistance when preparing the Final/Actual Cost By-Law. It shows the estimated net costs to all parties after the applicable allowances are deducted from the assessments.
- Tables 1-1, 1-2, 2-1, and 2-2 following Schedule B, are the respective reapportionments to the Schedules of Assessment for Future Maintenance for the Tavistock Drain 1985 and Hohner Drain. These reapportionments were prepared in accordance with Section 65 of the Drainage Act.

2 BACKGROUND

Through preliminary discussions held with the Township prior to acquiring severed land from the Canada Farm Distributors Ltd. property, the existence of the Tavistock Drain 1985, as well as the requirement to have said drain relocated by a report under the Drainage Act was described to both proponents. In order to initiate the relocation, a Section 4 petition would be required to be signed and filed with the Township. The Act requires that petitions for Drainage Works be signed by all owners listed on the property or by an officer with signing authority, if the property is owned by a corporation. It is unclear exactly when the severances/changes in ownership was to officially occur, however in order to start the process of the Drainage Act report, the current owner of the property (Canada Farm Distributors Ltd.) signed the petitions with the understanding that all costs would be borne by the two proponents once the change in ownership was finalized.

2.1 <u>PeopleCare Centres Inc.</u>

The first proposed development is a new long term care facility by PeopleCare Centres Inc. located to the west of the existing building on William Street South. The proposed two-storey building would be located on top of a portion of the existing 900mm diameter concrete pipe of the Tavistock Drain 1985 (Main Drain) at its southeastern limits.



2.2 2825085 Ontario Inc. Subdivision

The second proposed development is a subdivision located on Woodstock Street South, east of the Tavistock Optimist Park. The development is near the location of the Tavistock Drain 1985 crossing of Woodstock Street South. At the time of completion of this Report this development is not yet finalized, however is anticipated to be primarily comprised of residential townhouse blocks. The existing Tavistock Drain 1985 is located across the northwest corner of the proposed subdivision.

2.3 Ponds Subdivision

In addition to the drain relocation work required for the two proposed developments mentioned above, this Report will also address a parcel in the upper watershed of the Tavistock Drain 1985 recently subdivided and referred to as the "Ponds Subdivision". The Ponds Subdivision is represented by properties abutting Halliday Drive and the extension of Jacob Street West, located north of Hope Street West and west of Centennial Drive. The subdivision consists of approximately 83 properties and two blocks designated as SWM facilities. The Ponds Subdivision was developed by the same owners as the current 2825085 Ontario Inc. development. A Section 65 report was a condition of the subdivision agreement with the Township.

3 DRAINAGE HISTORY

The Tavistock Drain 1985 was constructed in accordance of a report by K. A. Smart, P. Eng. (K. Smart Associates Ltd.) dated October 31, 1985. The project commenced with the signing of a petition by the County of Oxford for improved drainage to Hope Street West. The report consisted of a "Main Drain" and a "Branch A". The Main Drain commenced on the north side of Hope Street West just short of the main village intersection with Woodstock Street. A 675mm (27") concrete sewer pipe runs westerly past the Mogk and William Street intersection to Centennial Drive. Between William Street and Centennial Drive, the drain increases in size to a 750mm (30") diameter pipe. At Centennial Drive the Main Drain crosses Hope Street West in a southwest direction. From the south side of Hope Street West, the Main Drain continues southerly as a 900mm (36") diameter pipe through two private properties abutting Hope Street West and onto the Canada Farm Distributors Ltd. property. The drain generally continues in a southerly/westerly direction to the point where it reaches Woodstock Street South. The Main Drain crosses Woodstock Street south as two elliptical concrete pipes. The sizes are 865mmx1345mm and 965mmx1525mm to cross the road, then increase to twin – 965mmx1525mm elliptical pipes for a short distance between residential properties on the south side of Woodstock Street South to its outlet in the Hohner Drain. This short stretch of twin elliptical pipes replaced a portion of the 600mm diameter pipe that was the Hohner Drain.

Branch A was constructed to service the west end of Hope Street West, commencing approximately 120m to the west of Centennial Drive as a 450mm (18") diameter concrete pipe on the north side of Hope Street West. Branch A also crossed Hope Street West on a southeasterly direction to its terminus at a maintenance hole on the Main Drain, on the south side of the road.

Prior to the construction of the Tavistock Drain 1985, this watershed area was previously served by Tavistock Drains No. 1 and No. 4.

Tavistock Drain No. 4 was constructed under a report by F. J. Ure dated May 5, 1911. The drain commenced at the northwest corner of the intersection of Hope Street West and



William Street and ran west along the north side of Hope Street West to Centennial Drive. The drain then crossed Hope Street towards the south and continued through private property approximately along the same route as the Tavistock Drain 1985 to its outlet at the Hohner Drain on the north side of Woodstock Street South. In 1967 a second drain was constructed by the former corporation of the Village of Tavistock to parallel Drain No. 4. It was believed by K. A. Smart, P. Eng. in his 1985 report that this 1967 drain was not constructed by a report under the Drainage Act. Downstream of Hope Street across what is now the Canada Farm Distributors Ltd. property, the drain was a 450mm diameter (18") pipe. Tavistock Drain No. 4 was abandoned of status in 1985.

According to the description in the original Tavistock Drain 1985 report, the Tavistock Drain No. 1 commenced at the southwest corner of the intersection of Oxford and Mogk Streets, continuing approximately one lot to the south on Mogk Street, then turning sharply to the southwest through private properties between Mogk and William Streets. The drain crossed William Street, turning southerly on the west side of William Street to its outlet at Tavistock Drain No. 4. It is believed that this route was constructed in 1934. Drawings for the reconstruction of William Street in 1994 show that the drain likely does not cross William Street, but instead turns to the south at William Street with catchbasins located outside of the curb. This reconstruction work in 1994 appears to have constructed a new storm sewer within the road, but did not remove the existing Tavistock Drain No. 1. This 1934 route described above apparently does not match the route described in the Tavistock Drain No. 1 report, dated March 9th, 1910. The 1910 report described the Tavistock Drain No. 1 route to commence at the same location as described above (southwest corner of Mogk and Oxford Streets), however headed west on Oxford Street to William Street, then southerly on William Street to a point near Hope Street where it would cross William Street and outlet into the Tavistock Drain No. 4. In K. A. Smart's, P. Eng. 1985 report, he considers that the 1910 route must therefore have been abandoned. Furthermore, the 1985 report maintained the status of the Tavistock Drain No. 1 as a municipal drain.

4 WATERSHED DESCRIPTION

The perimeter watershed of the Drain has been maintained from the boundary shown in K. A. Smart's 1985 report with only slight modifications for changes in land use occurring since that time.

The watershed boundary has been updated in two (2) locations to match the perimeter of the Ponds Subdivision constructed in multiple phases from 2013 to 2019. The first location is along the back of properties on the west side of Halliday Drive from Hansuld Street southerly to the corner where Halliday Drive turns to the east. The second update again proposes for the watershed to be moved to the back of properties on the north side of Jacob Street West from William Street to vacant land. In total, these updates add approximately 1.3 hectares into the watershed. Past William Street to the east no changes are proposed. In both cases above, backyard swales and small diameter storm sewers in easements direct surface water towards Township streets.

The watershed has also been revised slightly on the 2825085 Ontario Inc. property near Woodstock Street South in order to include the full extents of the subdivision in the watershed. This update adds approximately 0.2 hectares into the watershed.

These changes are later discussed in *Section 13.1 Reapportionments* and captured by Tables 1-1, 1-2, 2-1, and 2-2 for reapportioning the Schedules of Assessment for Future Maintenance.



5 **INVESTIGATION**

5.1 <u>On-Site Meeting</u> Attendees:

Rodney Ramseyer (Optimist Club of Tavistock)	Wade Stever (PeopleCare Centres Inc.)
Eugene Bender (Optimist Club of Tavistock)	Dan Ferguson (WalterFedy – consultant for PeopleCare Centres Inc.)
John Day (2825085 Ontario Inc.)	Tyler Kelly (WalterFedy)
Brian Wilhelm (2825085 Ontario Inc.)	Connor Occleston, Twp. Drainage Superintendent
Angela Kroetsch (GM BluePlan Engineering Limited – consultant for 2825085 Ontario Inc.)	Curtis MacIntyre (K. Smart Associates Ltd.)
	Alex Pasley (K. Smart Associates Ltd.)

On October 21, 2021, the on-site meeting for the Section 4 appointment was held at the Tavistock Optimist Park. Those in attendance are listed above. The Engineer briefly explained that this meeting was a required step in the Drainage Act process, and that the petitions brought forward would be evaluated for sufficiency. The meeting was divided into two segments, with the first half of the meeting focused on the petition for the 2825085 Ontario Inc. proposed development, and the second half for the PeopleCare Centres Inc. development. Both groups were invited to be present for each part. Questions/input are described below.

General Comments (related to both developments)

- Connor Occleston explained that the Township will require the relocated drains to be sized according to the Tavistock Master Storm System Drainage Plan from 2007 and that the costs for upsizing will be borne by the developers.
- Curtis MacIntyre explained that the Master Drainage Plan considers the Tavistock Drain 1985 to be a trunk sewer for the village and calls for the increased sizes to be a 975mm diameter pipe through the PeopleCare Centres Inc. development, and 1200mm/1050mm diameter pipes through the 2825085 Ontario Inc. development to Woodstock Street South. Curtis explained that the Master Drainage Plan likely allows for the recommended size to be reduced to a 1050mm diameter pipe near Woodstock Street South because the grade of the pipe is gradually steeper than the previous section. All parties acknowledged though that this reduced pipe size would not likely be proposed in practice.
- Curtis MacIntyre confirmed that the existing road crossing of Woodstock Street South
 was not included in the Master Drainage Plan, however calculations showed that the
 two elliptical concrete pipes at a 0.30% grade have the same capacity as the
 recommended 1200mm diameter pipe at a 0.90% grade leading up to the crossing.
 Therefore, it would appear that no upsizing of the Oxford County road crossing would
 be required.
- Connor Occleston explained the basis of the Township's required 10m right-of-way over the municipal drain for the purposes of future maintenance.



Drain Relocation & Upsizing: 2825085 Ontario Inc. Portion

- Angela Kroetsch explained that the existing drain has been located and surveyed using GPS.
- Property boundaries for the proposed development were staked out prior to the meeting. The severed property also includes an area along the northern limit for a cul-de-sac.
- 2825085 Ontario Inc. would like the drain re-aligned along the north property limit, under the future cul-de-sac, then along the west limit of the property.
- Through preliminary discussions prior to this meeting, it was generally understood that the ideal location for the relocated drain would be onto the Tavistock Optimist Park property. This would avoid a drain that is located within future residential rear yards. A portion of the existing Tavistock Drain 1985 already exists across the Optimist Park property near Woodstock Street, and the engineer will recommend that the full upsizing/relocation for this development be continued to the Woodstock Street South crossing. At this location the existing drain already has enough capacity to meet the Master Drainage Plan recommendations.
- The Optimist Club of Tavistock expressed a concern that this proposal may hinder any future development of their property. The representatives of the club wished to better understand the benefit to them for allowing the proposal.
- Curtis MacIntyre explained the concept of allowances provided under a Drainage Act report and suggested those may be in the range of approximately \$15,000 (based on similar allowance rates used for other recent drain reports within the village) provided to the Optimist Park lands for the drain being further relocated to their property. Curtis suggested the two parties may have to come to their own separate agreement outside of the allowances provided in the drain report.
- Angela Kroetsch explained that extensive stormwater management work was
 completed as part of a previous subdivision located west of Centennial Drive in the
 upper watershed of the Tavistock Drain 1985. She suggested that this work had been
 done after the completion of the Tavistock Master Storm System Drainage Plan and
 asked if this could be reviewed for a possible reduction in the required upsizing of the
 drain. Curtis MacIntyre agreed that this would be appropriate.
- 2825085 Ontario Inc. explained that they are anticipating a summer 2022 construction timeline.

<u>Drain Relocation & Upsizing: PeopleCare Centres Inc. Portion</u>

- Dan Ferguson explained that the drain is proposed to be relocated along northern property limit, then turn south along the western property limit.
- It was understood that the proposed drain would be fairly deep in the northwestern property corner (5m +/-) and will require a 10m wide easement for future maintenance.
- The Township requested that the relocated drain, along the west side of the proposed development, be moved as close to the property line as possible to avoid future impact to the underside of footings, if/when future maintenance work occurs
- PeopleCare Centres Inc. also expected a summer 2022 construction timeline.

<u>Drain Upsizing: Between Two Proposed Developments</u>

• Since the proposed developments are not directly connected, a portion of the Tavistock Drain 1985 exists in between the two developments that would otherwise be left without improvement/upsizing. A discussion was held at the meeting regarding this portion of the existing drain and whether an upsizing will also be required. After a



review of the recommended pipe sizes from the Master Drainage Plan in conjunction with the SWM improvements made in the upper watershed, it was later determined that this section of pipe would not be required to be upsized at this time.

6 AUTHORITY FOR REPORT

Section 4 of the Drainage Act provides for the construction of new drainage works for an area requiring drainage.

From a review of the August 11th, 2021 signed petition, the area requiring drainage was determined to be the area of the proposed 2825085 Ontario Inc. residential and highway commercial development (Roll No. 010-18811 severed from Roll No. 010-18800) identified as Pt. Lots 126 to 128, Reg. Plan 307, Township of East Zorra-Tavistock.

For the August 18th, 2021 signed petition, the area requiring drainage was determined to be the area of the proposed PeopleCare Centres long-term care facility expansion (Roll No. 010-09500 also severed from Roll No. 010-18800).

Both petitions were signed by Mr. Patrick Sommers of Canada Farm Distributors Ltd., who still owned the full property at the time of the signing. Since this time, both severances have been completed with the ownerships being transferred to 2825085 Ontario Inc. and PeopleCare Centres Inc., respectively. Both petitions represent all of the area of the owners in the area requiring drainage and are therefore sufficient (valid) in accordance with Sections 4(1) (a) and 4(1) (b) of the Drainage Act.

7 <u>DESIGN AND CONSTRUCTION CONSIDERATIONS</u>

The following are various matters that were considered in arriving at the recommendations in this Report:

7.1 Sizing Considerations

As outlined at the on-site meeting, the township requires that the relocated Tavistock Drain 1985 be upsized to convey a comparable flow to the pipe sizes recommended in the Township's Master Storm System Drainage Plan for Tavistock. In the plan, this drain was identified as a Trunk sewer, and is recommended to be designed to the 10-year storm return period. Due, however, to the improvements made in the upper part of the Tavistock Drain 1985 watershed from stormwater management implemented as a part of the "Ponds Subdivision", these recommended pipe sizes are no longer believed to represent the required sizes for a 10-year storm (overly conservative).

A full review of the pipe sizing has been completed and summarized in a Technical Memorandum attached to this Report in <u>Appendix B</u>. In summary, the Tavistock Drain 1985 Reconstruction 2023 pipe sizes are proposed to be 975mm diameter and a 1050mm diameter pipes for the PeopleCare Centres and 2825085 Ontario Inc. developments, respectively. Both drains are at a proposed grade of 0.75%.

Though the proposed pipe sizes and grades do not quite equate to the capacity of the recommended pipe sizes in the Tavistock Master Storm System Drainage Plan, it is believed that, in light of upstream SWM improvements, the proposed Drain provides capacity in excess of the 10-year storm, considering todays conditions.



In the previous report on the Tavistock Drain 1985, K. A. Smart, P. Eng. stated that the majority of the drain was sized for 2-year storm for urban areas, plus a 1" (25.4mm) drainage coefficient for rural/agricultural areas. He also stated that the runoff coefficient (C value) in this design was considered to be 0.8 for the area east of Mogk Street and north and south of Hope Street, and a coefficient of 0.5 for all other urban areas west of Mogk Street. At the request of the owners on the south side of Woodstock Street South at the time, who did not wish to see construction occur again in the near future for the purposes of development to the north, it was decided to install a drain across Woodstock Street and through their residential properties large enough to consider the 4 to 5 (at-the-time) agricultural properties to the north (totaling approximately 34 hectares in area) as if they were already developed lands. Under a separate analysis, the capacity of the elliptical pipes crossing Woodstock Street South is approximately equal to the capacity of the recommended upstream connecting 1200mm diameter pipe, proposed in the Tavistock Master Storm System Drainage Plan. Therefore, it can be said that the road crossing approximately equates to the 10-year storm under the existing conditions in 2007.

7.2 Route Considerations

For the portion of the relocated drain around the 2825085 Ontario Inc. development, through discussion with the Township, it was preferred that the alignment of the relocated drain be moved onto the Optimist Park property parallel to the 2825085 Ontario Inc. property. The alignment is proposed to be partially under the lawn near Woodstock Street and partially under the laneway. It is also to be located approximately 11m off of the existing Optimist Park shed to allow for future expansion. At the northern limits of the proposed subdivision, the relocated drain is proposed to turn to the east across the Canada Farm Distributors Ltd. property in part, as well as the proposed cul-de-sac of the 2825085 Ontario Inc. development. This alignment was preferred over other options considered, including the option for the relocated drain to be in the backyards of the proposed townhouse blocks or within the subdivision's proposed future street off of Woodstock Street South.

For the PeopleCare Centres Inc. development, through prior discussion with the Township and WalterFedy, the relocated drain alignment as discussed in *Section 5.1 On-Site Meeting* was preferred over the option to the relocate the drain along the east and southerly sides of the development. In considering future maintenance of the drain, the Township wished to avoid a situation where emergency access would ever be blocked to the facility. The alignment is to be located for the full extents within a 10m wide easement. Along the west side, the relocated alignment is proposed to be 3m off of the property line to maintain a sufficient distance from the proposed building footings. On the north side, however, the relocated drain will be centered within the easement so that backyards/fences of the adjacent residential properties are not impacted.

7.3 Sufficient Outlet

Section 15 of the Act requires that the proposed work be continued downstream to a sufficient outlet. Section 1 of the Act defines sufficient outlet as "a point at which water can be discharged safely so that it will do no damage to lands or roads".

The existing Tavistock Drain 1985 crosses Woodstock Street south as two elliptical concrete pipes (one 965x1525mm and one 865x1345mm) at grades of 0.30%. A capacity analysis has concluded that the combination of these two pipes has an approximate capacity of 3.9m³/s, which is approximately the same capacity of a 1200mm concrete pipe at a 0.91%



slope (would be the size of the upstream contributing pipe as recommended in the TMSSDP). Therefore, this indicates the existing road crossing is currently sized to pass the 10-year storm. Commentary in the Tavistock Drain 1985 report by K. A. Smart, P. Eng. supports this as being the likely design standard. Downstream of Woodstock Street South, the size of the drain increases to two (2) – 965x1525mm elliptical pipes for a short distance before continuing as the open ditch of the Hohner Drain.

For this project, the existing road crossing of the Tavistock Drain 1985 and open ditch of the Hohner Drain have been determined to be a sufficient outlet for the Tavistock Drain 1985 Reconstruction 2023.

7.4 <u>Environmental Considerations</u>

The Tavistock Drain 1985 is a fully enclosed pipe drain. The portion of the Drain proposed to be reconstructed currently traverses farm/vacant lands that are proposed to be developed. Each development will discharge their stormwater into the Tavistock Drain 1985, however, will be responsible for their own quality control measures as required by the Township or conservation authority during engineering review. There are no other known environmental constraints in the watershed.

A copy of this Report, including the specifications, will be submitted to the Upper Thames River Conservation Authority (UTRCA). All approvals and permits are to be obtained by the individual subdividers.

7.5 Soils Considerations

Both sites for proposed developments were historically on agricultural lands. The Perth County Soils Report and Map prepared in 1952 by the Environmental Farms Service, Canada Department of Agriculture and the Canada Agriculture College shows that the Village of Tavistock contains Huron clay loam, which is considered to be well drained with few stones.

PeopleCare Centres

A geotechnical investigation was completed by Chung and Vander Doelen Engineering Ltd. in May 2021, commissioned by the development. The investigation involved twelve boreholes including three monitoring wells. A review of the borehole logs in this report indicate that the drain construction is, for the most part, to occur in silty soils below occasional pockets of silty sands containing an approximate depth of 0.9m. In some locations the construction could be into a sandy silt till layer below the silt layer. Monitoring wells installed at the northwest and southwest corners of the development show observed water levels between 0.47m and 0.80m below the ground (recorded in spring 2021). The Servicing and Stormwater Management report prepared by WalterFedy did not identify any possible adverse conditions that would impact construction.

The proposed works should be able to proceed without any great delays or expense due to poor soil conditions, with the possible exception of high groundwater conditions at the northwest and southwest corners (proposed MH7 & MH8). Due to its depth and proximity to the property line, care should be given to the installation of MH8 and upstream pipe, to limit any adverse impact on the neighbouring residential properties.



7.6 Utilities

An Oxford County sanitary sewer exists alongside the Tavistock Drain 1985 for a portion of its existing route in the vicinity of the PeopleCare Centres Inc. development. The sewer is located in a 6.1m wide easement along the southern and eastern limits of the property and is not proposed to be relocated. At Hope Street West, the existing Tavistock Drain 1985 runs parallel to the sanitary sewer, but on the east side. At the northeastern corner of the PeopleCare Centres Inc. development, the existing drain crosses under the sanitary sewer to the west side. It is at this location where the existing drain will be located during construction and intercepted with a new maintenance hole structure to re-direct the drain to the west and around the proposed building. It is anticipated that the proposed maintenance hole structure will be constructed approximately 1m from the existing sanitary sewer. This design detail was reviewed with and accepted by Oxford County.

Utilities are not expected to be a problem for the initial construction of the Drain through the Optimist Park, nor the Canada Farm Distributors Ltd. properties. After construction of the drain, it is expected that watermain, sanitary and storm sewer crossings will be made above the Drain on the proposed future street in the 2825085 Ontario Inc. development.

The Contractor is to contact all utilities and landowners along the proposed Drain reconstruction route to determine the existence of all underground or overhead utilities on private properties.

Locates will be required to determine precise locations of any underground utilities prior to construction.

7.7 <u>Construction Scheduling</u>

The construction of the new Drain will be completed in two phases as identified by the two separate developments.

It is anticipated that the construction of the relocated drain around both developments will occur later in 2023.

8 <u>INFORMATION SENT TO LANDOWNERS</u>

An explanatory letter and an enlargement plan showing the proposed work will be sent to all landowners in the watershed of the Tavistock Drain 1985. The letter is intended to summarize the drain relocation work proposed in this Report, to advise of the proceedings, and to give direction on how to view or obtain a copy of this Report.

The explanatory letter and plan are duplicated and included in this Report in Appendix A.

9 SUMMARY OF RECOMMENDATIONS

The recommended work items listed here are primarily only those that pertain to the Tavistock Drain 1985 Reconstruction 2023.

The proposed storm sewers, manholes, catchbasins, services, swales, etc. that are to be built within the proposed development/subdivision are not listed in these recommendations. They will not be part of the Drain. The existing Tavistock Drain 1985 through the two developments is to be removed/destroyed after the new Drain is constructed and functioning.



From the surveys, design, and discussions listed above, the following is the recommended drain construction:

0+480 to 1+025 – 2023 Stationing by KSAL (m) [480] – Tavistock Drain 1985 Original Stationing (ft.)

a) Works Part of Tavistock Drain 1985

(Note: Once these listed new works have been constructed/completed, they are to be recognized/incorporated as part of the Tavistock Drain 1985 for future maintenance purposes.)

Optimist Club of Tavistock (Roll No. 010-14001)

- 182m of 1050mm dia. reinforced concrete pipe (RCP).
 - o Removal of two (2) trees
 - Enlarge existing hole in existing 2400mm dia. MH2A and connect proposed 1050mm dia. concrete pipe.
 - o Cap existing Tavistock Drain 1985 pipe (900mm dia.).
- Construct two (2) 2400mm dia. concrete maintenance holes (MH3 & MH4) including connections (see drawings 5 & 6).

Canada Farm Distributors Ltd. (Roll No. 010-18800)

- 41m (total) of 1050mm dia. reinforced concrete pipe (RCP).
- Construct 2400mm dia. concrete maintenance hole (MH5) including connections.
 - MH5 to be connected to existing Tavistock Drain 1985 upstream

2825085 Ontario Inc. (Roll No. 010-18811)

• 32m of 1050mm dia. reinforced concrete pipe (RCP).

PeopleCare Centres Inc. (Roll No. 010-09500)

- Construct three (3) 2400mm dia. concrete maintenance hole (MH7, MH8 & MH9) including connections (see Drawings 7 & 8).
 - MH7 to be connected to existing Tavistock Drain 1985 downstream
 - MH9 to be connected to existing Tavistock Drain 1985 upstream
- 160m of 975mm dia. reinforced concrete pipe (RCP).

10 DRAWINGS AND SPECIFICATIONS

10.1 Drawings

10.1.1 Plans

The locations of the existing Tavistock Drain 1985, the Tavistock Drain 1985 Reconstruction 2023, and the affected downstream drain for maintenance (Hohner Drain (1979)) are shown on Drawing 1 (Overall Plan).

The location of the Tavistock Drain 1985 Reconstruction 2023 and the affected properties are shown on Drawing 2 (Watershed Plan). The heavy solid line indicates the location of the proposed drain reconstruction work. The heavy broken (dashed) line indicates the approximate watershed boundaries for the Drain.



Drawing 3 is a Reapportionment plan showing the 2825085 Ontario Inc. development where future lots will be proposed, as well as the existing parcels of the now completed Ponds Subdivision to receive reapportioned Schedules of Assessment for Future Maintenance as a part of this Report. See *Section 13.1 Reapportionments* for more information on reapportionments.

Drawing 4 is an Enlargement Plan showing the location of the proposed work in the vicinity of both developments, as well as the affected assessment roll numbers and landowners. The numbers adjacent to the heavy solid line are station numbers which indicate in metres the distance along the proposed drain reconstruction from the outlet. Stationing was started at 0+480 at the MH2A at Woodstock Street South to match the previous Tavistock Drain 1985 report. Where the proposed work ends at Station 0+735, the existing drain length remaining in place up to the existing structure referred to as MH6 near the PeopleCare Centres Inc. development was measured to be approximately 95m. The stationing for the PeopleCare Centres development was therefore started at Station 0+830 at this structure. Drawing 4 also shows some of the original Tavistock Drain 1985 stations upstream of the proposed work.

10.1.2 <u>Detailed Plans, Profiles and Other Drawings</u>

Detailed plans and subsequent profiles for the proposed Tavistock Drain 1985 Reconstruction 2023 were created for the work around each development. Drawings 5 & 6 show the work around the 2825085 Ontario Inc. development, while Drawings 7 & 8 are for the PeopleCare Centres Inc. development. Profile drawings show the grade of the proposed new pipes. The upper thin dashed line represents the existing ground level. In some cases, the upper thicker solid line represents the proposed post-development grade over the pipe.

Drawing 9 contains the Special Provisions (Specific Notes and General Notes).

10.2 Specifications

This Report includes the Standard Specifications and Special Provisions as listed in the Table of Contents, which are to govern the construction and maintenance of the Drain.

11 COST ESTIMATE

The cost estimate on this project consists of the allowances required to be made to the owners having work on their properties, the construction cost estimate including contingency items, the engineering cost estimate, the estimate of the construction supervision by the Engineer, an estimate of the Section 73 (administration and other) costs, and the estimated Net HST (1.76%)). The Estimated Cost Summary is then shown.

The cost estimate for the proposed Tavistock Drain 1985 Reconstruction 2023 is outlined in detail in the following sections:

11.1 Allowances

Sections 29 to 33 of the Drainage Act provides for allowances (compensation) to be made to owners affected by the proposed drain construction. On this project, there are only allowances for Section 29 (R-O-W) and Section 30 (Damages).



11.1.1 Section 29 - Right-of-way

Section 29 of the Act provides for payment of an allowance to landowners for the right-of-way (R-O-W) required for construction and maintenance of the new Drain and for access routes to the Drain as necessary. Generally, the width of the R-O-W is the width needed to maintain the Drain.

For the portion of the Drain proposed to be relocated for the 2825085 Ontario Inc. development, the new Drain will be moved onto the Optimist Park and Canada Farm Distributors Ltd. properties. Though the two properties are zoned as Recreational and Development, respectively, for the purpose of the calculation of allowances in this Report, the properties have been considered to be equivalent and calculated based on a rate of approximately \$100,000/ha. The Section 29 right-of-way allowance will be for a 10m width along the route of the new pipe drain. Approximately 32m of the relocated Drain will be located across a future cul-de-sac of the 2825085 Ontario Inc. development. No right-of-way allowances have been provided for this portion.

For the portion of the Drain being relocated for the PeopleCare Centres Inc. development, the new reconstructed/relocated drain work will be contained within the development property and situated within a 10m easement, created pursuant to the subdivision registered plan (Roll No. 010-09500). No Section 29 allowances are provided for this property.

11.1.2 <u>Section 30 - Damages</u>

Section 30 of the Act provides for payment of allowances to landowners for damages to lands during construction of the Drain. The Section 30 allowances compensate the owners for damages caused by the construction equipment moving within the R-O-W and by the placement of any excavated spoil within or beyond the working area width needed for construction. Section 30 allowances are also provided for damages along access routes where separate from R-O-W routes, if any.

On this project, since the 2825085 Ontario Inc. development will be required to restore the landscaping on the Optimist Park property (Roll No. 010-14001) to existing conditions upon completion of the drain construction, no Section 30 allowances are necessary for damages to lawns. It is anticipated however, that two (2) mature trees (1 deciduous and 1 coniferous) will be removed along the proposed drain alignment, and therefore an amount of \$400 has been provided to the Optimist Park property (Roll No. 010-14001) for removal of the two trees.

11.1.3 Summary

In accordance with Section 62(3) of the Act, the allowances shown may be deducted from the final assessment levied. Payment to the owners for these allowances would only be made when the allowance is greater than the final assessment. The allowances are a fixed amount and are not adjusted at the conclusion of construction. Allowances can only be changed if the report is modified prior to adoption of the report by bylaw or in accordance with the paragraph in this Report that deals with changing the scope of work after the Bylaw is passed. Allowances will be paid out by the Township and the cost of the allowances is part of the cost of the Drain.

The allowances payable to the owners entitled thereto on this project are as follows:



Roll Number	R.O.W. (Sec 29)	Damages (Sec 30)	Total
(32-38-020-)	(\$)	(\$)	(\$)
010-14001	18,200	400	18,600
010-18000	4,100		4,100
TOTAL ALLOWANCES	22,300	400	22,700

Table 11.1-1 - Summary of Allowances

11.2 Construction Cost Estimate

The estimated cost of Labour, Equipment and Materials to construct the proposed Drain is outlined in detail in <u>Table 11.6-1 - Estimated Cost Summary</u>. A contingency amount is included to cover additional work that may be required due to field conditions or minor alterations to the project. This cost estimate does not include the cost estimate of any other storm sewers, manholes, catchbasins, services, swales, etc. within either development since these will not be part of the Drain. The Subdivider's Engineer has likely also prepared an estimate of this work for purposes of the Subdivision Agreement. These two estimates of construction may differ, but such will not impact this Report since the work is to be paid by the Subdivider/Landowner/Developer regardless of what actual tender is received.

The new works on the Drain, as set out in <u>Table 11.6-1 - Estimated Cost Summary</u> for the Tavistock Drain 1985 Reconstruction 2023 will be part of Tavistock Drain 1985 once constructed, for future maintenance purposes.

11.3 Engineering Cost Estimate (Report Preparation and Construction Phases)

Engineering costs include report preparation and attending the Council meeting to consider the report and the Court of Revision. The costs also include the preparation of reapportionments to the affected Schedules of Assessment for Future Maintenance (Tables 1-1, 1-2, 2-1, and 2-2 to be later discussed in *Section 13.1 Reapportionments*).

The Construction Phase Services estimate is prepared on the basis that the developers' Engineers will tender, award and supervise all work related to the Tavistock Drain 1985 Reconstruction 2023 related to their own development. The Township (this Engineer) will only make periodic reviews of the work related to the Tavistock Drain 1985 Reconstruction 2023. The Construction Phase Services may include: attending pre-construction meeting, periodic construction inspection, performing construction review, preparing as-built drawings, attending final inspection meeting, post construction follow-up, and assistance to the Township on processing the project and final cost analysis.

The estimated cost of report preparation as shown is usually not altered at the conclusion of a project unless the report is referred back or the report is appealed to the Drainage Tribunal, either of which would result in additional costs. The amounts shown for future meetings are estimates. The final cost will be based on the actual time required for meetings.

The estimate shown for Construction Phase Services is based on past experience, assumes good construction conditions and a Contractor who efficiently completes the construction. The final (actual) cost for construction phase services will vary as per the actual time spent during and following Drain construction.

Engineering costs are summarized in <u>Table 11.6-1 - Estimated Cost Summary</u>.

11.4 Estimate of Section 73 Administration (Other) Costs

Section 73(1) of the Drainage Act outlines that the following costs incurred by a Municipality can be included in the cost of the drain: "cost of any application, reference or appeal and the cost of temporary financing". However, Sections 73(2) and 73(3) of the Act state that the costs of services provided by Municipal and County staff to carry out the Act process cannot form part of the final cost of the drain.

An estimate of Administration Costs is included to cover the above referenced items from Section 73(1) and primarily provides for interest charges on financing the Drain project until it is completed.

This administration cost estimate may not be adequate to cover legal or engineering costs incurred by or assessed to the Township should the project be appealed beyond the Court of Revision, though such costs normally form part of the final drain cost.

Section 73 costs are summarized in *Table 11.6-1 - Estimated Cost Summary*.

11.5 Harmonized Sales Tax

The Harmonized Sales Tax (HST) will apply to most costs on this project. The Township is eligible for a significant refund on the HST paid. The approximate resulting net 1.76% HST is included in the cost estimates in this Report. The Net HST has been rounded off to the nearest \$5.

11.6 Estimated Cost Summary

Table 11.6-1 - Estimated Cost Summary

	DECCDID:	TION					TOTAL COST
		(From <u>Table 11.6-1</u>) (Note: These are "fixe	ed" allo	wances	and		
there	fore are no	t "estimates"):					\$ 22,700
CONS	STRUCTION	N COST ESTIMATE					
Item	Stations	Description	Unit	Quan.	Unit Price	Cost	
i) Ma	in Drain (2	825085 Ontario Inc. Portion)					
1	0+480	Break existing 900mm concrete pipe out of existing 2400mm MH at Woodstock Street. Remove and dispose of approximately 15m of existing pipe, capping end and end near subdivision property line. Cut approximately 200mm lower invert in existing maintenance hole for new 1050mm pipe.	L.S.	1	3,000	3,000	
2	0+480 to 0+527	47m of 1050mm dia. reinforced concrete pipe	/m	47	1,800	84,600	
3	0+527	2400mm dia. concrete manhole including connections	L.S.	1	30,000	30,000	
4	0+527 to	117m of 1050mm dia. reinforced concrete	/m	117	1,800	210,600	

5

6

0 + 644

0 + 644

0+644 to

0+735

pipe

connections

2400mm dia. concrete manhole including

91m of 1050mm dia. reinforced concrete

1

91

33,000

1,800

33,000

163,800

L.S.

/m

							TOTAL
	DESCRIP	TION					COST
7	0+735	2400mm dia. concrete manhole including connections	L.S.	1	30,000	30,000	
8	0+480 to Remove and disposal of 140m of existing 0+735± 900mm conc. pipe and 1800mm dia. MH L.S. 1 5,0				5,000	5,000	
	4			Sub Tot	al Part i)	560,000	
ii) M	ain Drain (F	PeopleCare Centres Inc. Portion)					
9	0+865	2400mm dia. concrete manhole including connections	/m	1	33,000	33,000	
10	0+865 to 0+957	92m of 975mm dia. reinforced concrete pipe	/m	92	1,500	138,000	
11	0+957	2400mm dia. concrete manhole including connections	L.S.	1	33,000	33,000	
12	0+957 to 1+025	68m of 975mm dia. reinforced concrete pipe	L.S.	68	1,500	102,000	
13	1+025	2400mm dia. concrete manhole including connections	L.S.	1	33,000	33,000	
14	0+865 to 1+025±	Remove and disposal of 139m of existing 900mm conc. pipe and 1800mm dia. MH	L.S.	1	5,000	5,000	
			S	Sub Tota	al Part ii)	344,000	
iii) Contingencies							
Lump sum contingency allowance 90,400							
Sub Total Parts i), ii) & iii): 994,400							
Net HST (1.76%) 17,500							
		TOTAL CONSTRUCT	TION C	OST ES	TIMATE:		\$1,011,900
ENG	INEERING (COST ESTIMATE					
		Report Preparation				\$36,000	
		Preparation of reapportioned Schedules of A					
		for Future Maintenance for the Tavistock Dr	ain 198	5 and			
		Hohner Drain				4,000	
						1000 1000	
Construction Phase Services							
Net HST (1.76%) 1,090							
TOTAL ENGINEERING COST ESTIMATE:							\$63,090
SECTION 73 ADMINISTRATION (OTHER) COSTS ESTIMATE							
		Interest estimate Unforeseen costs				1,500 810	
TOTAL SECTION 73 ADMINISTRATION (OTHER) COSTS ESTIMATE:							£ 0 040
TOTAL PROJECT ESTIMATED COST:						\$ 2,310 \$1,100,000	
		I O I AL PROJE	OI ES		0001:		φ1,100,000

12 **ASSESSMENTS**

The Drainage Act requires that the total project cost (initially the estimated costs, ultimately the actual costs) be assessed to the affected lands and roads under the categories of Benefit (Section 22), Outlet Liability (Section 23), Injuring Liability (Section 23), Special Benefit (Section 24) and/or Increased Cost (Section 26). On this project, assessments for "Special Benefit" only are involved and are described below.



The Schedule A included herein is based on estimated costs. The final project cost will be assessed out based on final/actual costs and using <u>Table 12.1-1</u> and Schedule A.

12.1 <u>Calculation of Special Benefit Assessments (Section 24) (Estimated)</u>

The work in this Report benefits the proposed developments, and the undersigned has determined they are special benefits. Although an improved outlet (capacity) is provided to some properties, the undersigned has elected to assess only the two (2) parcels being developed. This decision is supported because the improved outlet capacity for the upstream watershed is only marginally greater than the existing Tavistock Drain 1985 being relocated/reconstructed as a result of the development. In addition, the subdivision agreement being developed between the owners and the Township will require that the owner of the development pay all of the costs of this Drain Report.

The project costs are therefore to be assessed to the owners of Roll Now. 010-18811 and 010-09500 using the category of Special Benefit (Section 24). The special benefit assessment to properties will include the allowances to be made, the engineering involved with the preparation and processing of this Report, the construction phase services and Section 73 administration costs of the Drainage Engineer, the applicable administration costs of the Township plus the applicable net HST.

The following table illustrates the calculation of the estimated Special Benefit (Section 24) Assessments:

Roll No.	Construction Costs	Net HST on Construction (1.76%)	Eng. Costs	Construction Supervision	Net HST on Eng. & Con. Super.(1.76%)	Sec. 73 Admin. Costs	Allow.	Total Special Benefit
	(Est.)	(Est.)	(Est.)	(Est.)	(Est.)	(Est.)	(Fixed)	(Est.)
010-18811	616,000	10,840	23,000	10,000	580	1,205	22,700	684,325
010-09500	378,400	6,660	19,000	10,000	510	1,105	0	415,675

Table 12.1-1 - Calculation of Special Benefit Assessments

The actual special benefit assessment to be levied to the landowner/developer will be calculated in accordance with this table. However, it is to be noted that:

- Actual construction costs are to be used. If the developer attends to, and pays directly, any or all of the construction items listed in the cost estimate of this Report, only the actual costs of any items that are attended to by the Township for the Drain will be used for final special benefit calculations. At this time, there are no construction items expected to be attended to by the Township.
- The Engineering costs should not vary significantly unless Drainage Act appeals have to be dealt with. Actual engineering costs as invoiced by this Engineer will be used.
- The Construction Phase Services costs and Section 73 Administration Costs will be the actual Construction Phase Services costs as invoiced by this Engineer or incurred by the Township.
- Net HST (1.76%) will be calculated on actual Construction, Engineering, Construction Phase Services and any applicable Administration costs.



• Allowances are fixed as per <u>Table 11.1-1</u> of this Report. These allowances will be paid by the Township to the owners and the amounts collected pursuant to the Special Benefit billing will be used to reimburse the Township.

12.2 Assessment Schedules

12.2.1 Schedule A – Schedule of Assessments

The estimated (and final/actual) cost of the drainage works in this Report is to be assessed as shown by Schedule A - Schedule of Assessments. In Schedule A each affected parcel of land assessed has been identified by the municipal assessment roll number at the time of the preparation of this Report. For convenience only, each parcel is also identified by the owner's name(s) from the last revised assessment roll.

The amounts in Schedule A are derived from the distribution shown in *Table 12.1-1*.

After construction is complete and final/actual costs are known, the assessments for the actual costs will be calculated using <u>Table 12.1-1</u>.

12.2.2 Schedule B – Schedule for Actual Cost Bylaw

After the Engineer certifies the construction of the Drain complete, the Township will determine the total of incurred costs, which will be the final/actual cost of the Drain. Final/actual assessments will be determined by assessing the actual cost of the Drain using *Table 12.1-1*. Schedule B shows how the assessments in Schedule A will be applied. It illustrates the estimated net assessments after deducting the allowances from the total assessments shown in Schedule A. It will then be used for preparing the final/actual cost bylaw. Actual assessments as calculated pursuant to Schedule B will be levied to the owner of the identified parcel at the time the Actual Cost Bylaw is passed. Roll numbers are per the Township's last revised assessment roll and names are included for convenience.

Should it be determined that Assessment Roll No. 010-18811 is not owned by 2825085 Ontario Inc., at the time the costs of this Report are billed out, the amount (assessment) is to be instead levied to any property (lot or block) in the proposed subdivision still owned by 2825085 Ontario Inc. If the developer owns none of the properties, then the assessment is to be sent directly to them, since they were the original developer at the time of this Report.

The allowances for right-of-way (Section 29) and damages (Section 30) provided to the Tavistock Optimist Club and Canada Farm Distributors Ltd. properties (Roll No's. 010-14001 and 010-09500) are to be paid by the Township on behalf of the developer, 2825085 Ontario Inc., to the current owners, at the time the costs of this Report are billed out.

12.2.3 Schedules of Assessment for Future Maintenance

The Reapportioned Schedules of Assessment for Future Maintenance are described in *Section 13.1 Reapportionments*, and are shown in Tables 1-1, 1-2, 2-1, and 2-2 following Schedule B.

13 MAINTENANCE

The Township of East Zorra-Tavistock under Section 74 of the Drainage Act is required to maintain all drains constructed by bylaw under the Drainage Act. Any open ditch or closed drain constructed pursuant to the Drainage Act may require periodical repair or maintenance work. Examples of future work possibly necessary include ditch cleanouts, riprap repairs,



pipe repairs, maintenance hole and catchbasin repairs and cleanouts. The cost of the maintenance is to be assessed to all upstream lands and roads pro rata with the applicable Schedule of Assessment for Future Maintenance provided for in the Engineer's report in the current bylaw for the Drain.

Therefore, in order to keep the existing drain maintenance assessment schedules up-to-date for the Tavistock Drain 1985 and downstream Hohner Drain, the Township requires reapportionments/revisions. On this project, these reapportionments/revisions have been completed in accordance with Section 65 of the Drainage Act, and are as described in Section 13.1 Reapportionments below.

The Tavistock Drain 1985, for future maintenance purposes, shall consist of all new proposed components listed in *Section 9 SUMMARY OF RECOMMENDATIONS* of this Report, as well as all remaining components of the Tavistock Drain 1985 downstream, in between, and upstream of this proposed work, as listed in the report by K. A. Smart, P. Eng. dated October 31, 1985.

13.3 Future Maintenance Costs of Drain Repair near PeopleCare Building

Due to the proximity of the Tavistock Drain 1985 Reconstruction 2023 to the proposed PeopleCare Centres Inc. building, and the potential impact of undermining the building's footings during a repair, it is of the structural engineer's opinion that any future maintenance of the drain in the vicinity of the building (Sta. 0+880 to 1+115) should be undertaken with the use of a trench box (minimum) or alternative shoring methods. Consultation should be made with a structural engineer prior to undertaking maintenance work near building footings.

Due to these additional measures beyond that of a typical drain repair, it has been determined that the future maintenance costs of the <u>materials</u> (pipe or structure) are to be assessed to the watershed of the Drain as per the existing Schedule of Assessment for Future Maintenance (including the Reapportionments in this Report). The cost of the <u>installation</u> for the repaired pipe or structure (meeting the minimum trench box/shoring requirements) however, is to be assessed to the owner of the property with Roll No. 010-09500.

13.1 Reapportionments

For this project, two (2) existing drains will require reapportionment to the Schedules of Assessment for Future Maintenance (Tavistock Drain 1985 and Hohner Drain (1979)). The following is a description of the past and proposed future land changes creating the requirement for reapportionments to the existing Schedules of Assessment for Future Maintenance:

- Two (2) recent severances to the property with Roll No. 010-18800 (Canada Farm Distributors Ltd.). The severed parcels have been given the Roll No.'s 010-18811 (2825085 Ontario Inc.) and 010-09500 (PeopleCare Centres Inc.)
- 2. Merging of several parcels owned by PeopleCare Centres Inc. into one parcel. The parcels merged had been referred to by roll number in one of the Schedules of Assessment for Future Maintenance in question, and by owner's name in the other (described in more detail in Note 3.).



3. As mentioned in *Section 2.3 Ponds Subdivision*, this Report will also address the recently subdivided parcel in the upper watershed. The subdivision is located on lands owned previously by G. & M. Holst and H. Wilker at the time of the 1985 and 1979 reports, respectively, and now consists of approximately 83 properties and two blocks designated as SWM facilities. Four of the properties created were severed off of the property with Roll No. 020-09500 (formerly owned by B. Halliday in 1985). The Ponds Subdivision was developed by the same owners as the current 2825085 Ontario Inc. development and a Section 65 report was a condition of their subdivision agreement with the Township. The cost to complete the reapportionment for the Ponds Subdivision will be separately identified and assessed to 2825085 Ontario Inc.

Tables 1-1, 1-2, 2-1, and 2-2 following Schedule B in this Report are the Reapportionments, in accordance with Section 65 of the Drainage Act, to the Schedules of Assessment for Future Maintenance for the Tavistock Drain 1985 and Hohner Drain. All reapportionment tables will only come into effect once the bylaw for this Report has been given third reading.

Once the proposed lots are confirmed for the 2825085 Ontario Inc. property, in order to acknowledge those additional severances and further update the Schedules of Assessment for Future Maintenance for both drains mentioned above, a report under Section 65 of the Drainage Act will be required.

<u>Table 13.1-1</u> below assists in describing what properties/subdivisions each Reapportionment Table addresses.

Table 13.1-1 - Reapportionment Table Identifier

Twp of East Zorra-Tavistock

Applicable Report Schedule	Tavistock Drain 1985	Hohner Drain
Subject Properties		
2825085 Ontario Inc., PeopleCare Centres Inc., Optimist Club of Tavistock	Table 1-1	Table 2-1
Ponds Subdivision	Table 1-2	Table 2-2

The reapportioned subdivision lots, blocks and streets in the tables refer to the subdivision lots, blocks, and streets shown on <u>Drawing No. 3</u> of this Report. The dollar amounts/values shown in the reapportioned maintenance schedules are not amounts to be paid at this time. They are only to be used to create the percentage or portion that each parcel (property) and road will pay for any actually incurred future repair/maintenance costs. In some cases, dollars are not shown, and the percentages only are provided.

Tables 1-1, 1-2, 2-1, and 2-2 will not change the division of future maintenance costs to any properties other than those outlined in the Tables and in the sections below. Though it is anticipated that all properties in the watershed will receive notification of the work proposed to occur on the drain, costs for future maintenance to properties outlined in the Tavistock Drain 1985 and Hohner Drain 2013 reports that are not proposed to be reapportioned by the Tables in this Report would not be eligible for appeal.



13.1.1 <u>Tavistock Drain 1985</u>

The report for the Tavistock Drain 1985 contained two schedules, a "Schedule of Assessment (For Assessing Construction and Report Costs)", and an "Assessment Schedule for Future Maintenance". It is the latter schedule that will require reapportionment, as shown in Table 1-1 and Table 1-2. Table 1-1 addresses the current PeopleCare Centres Inc. and 2825085 Ontario Inc. severances from the Canada Farm Distributors Ltd. property. Table 1-2 addresses the new lots, streets, etc. created from the Ponds subdivision, as described above.

The watershed limit for this drain has been adjusted slightly from the original 1985 report in three locations. See *Section 4 WATERSHED DESCRIPTION* for a summary of these alterations.

For purposes of future maintenance, the Tavistock Drain 1985 "Assessment Schedule for Future Maintenance" and the 2023 Reapportionment Tables (Table 1-1 & 1-2) will continue to be used until such time as the schedule is further modified in the future pursuant to Sections 65 or 76 of the Drainage Act. The drawings and specifications from the Tavistock Drain 1985 report by K. A. Smart, P.Eng. dated October 31, 1985 where not changed by this Report, and the drawings and specifications from this Report are to be referred to and used.

Copies of Table 1-1 and 1-2 should be placed in the Township's files for the Tavistock Drain 1985.

Table 1-1

The "Assessment Schedule for Future Maintenance" will need to be reapportioned for the "Main Drain" portion of the 1985 Schedule in Columns 1, 2, & 3 and only involves the following 1985 properties:

- Three (3) People Care Centres Inc. properties as represented by Roll No.'s 010-09300 (Reg. Plan 307, E Pt. 65), 010-09400 (Reg. Plan 307, Pt. 68), and 010-09500 (Reg. Plan 307, 69 & 70).
- Two (2) Canada Farm Distributors Ltd. properties as represented by Roll No.'s 010-14001 (Reg. Plan 307, Pt. 126) and 010-18800 (Reg. Plan 307, Pt. 128, Pt. 127, and Pt. 126).

This reapportionment adds the new 2825085 Ontario Inc. parcel and revises the areas for the Canada Farm Distributors Limited and PeopleCare Centres Inc. properties, as a result of the severances. It also corrects the shape (reducing the size and future maintenance proportion) of the Optimist Club of Tavistock property and adds a lot off of Hope Street West now owned by the Township of East Zorra-Tavistock that must have been at some point severed from the Canada Farm Distributors property.

Table 1-2

The "Assessment Schedule for Future Maintenance" will also require reapportionment for the "Main Drain" portion of the 1985 Schedule in columns 1, 2, & 3, involving the following 1985 properties:

 G. & M. Holst (RP307, Pt. 22 & S. Pt. 64), 020-121 (Township of East Zorra-Tavistock)



- B. Halliday (RP307, W Pt. 64 & Pt. 22), 020-095 (Township of East Zorra-Tavistock)
- G. & M. Holst (Con 5, Pt Lot 22) (Township of South Easthope)

The reapportionment includes all the new lots, streets, and SWM Pond blocks of the Ponds Subdivision. It also revises the area for property with Roll No. 020-09500 that appears to have been severed several times over the years, with the most recent being the creation of four (4) lots in the Ponds subdivision on Jacob Street West. At the time of the completion of this Report there are several lots/parcels showing with multiple roll numbers. It is known that Roll No.'s 020-12158 & 020-12194 should be one single lot and has been shown as such in this Table 1-2. Additionally, Roll No.'s 020-12163, 020-12164, 020-12165, and 020-12187 are all currently owned by the owner of the adjacent Roll No. 020-12168; however, these parcels are recognized as easements in favor of the Township for the turning circle at the end of the street. See Note #8 on Table 1-2 for how future maintenance costs for these parcels should be addressed.

13.1.2 Hohner Drain

The Tavistock Drain 1985 outlets into the Hohner Drain. The Hohner Drain was originally constructed in accordance with a report by K. A. Smart, P.Eng. dated April 11, 1979 and contained only one schedule: "Schedule of Assessments". This schedule was to be used as both a schedule of assessment and as a future maintenance schedule with maintenance costs being assessed "in the same relative proportion".

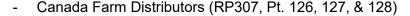
This schedule was revised in 2013 in a report entitled Hohner Drain 2013 dated November 19, 2013 by K. A. Smart, P.Eng. "Schedule 2 - Schedule of Assessments" in this 2013 report is the original 1979 schedule that was revised to include a Block Assessment area consisting of three proposed subdivisions in Part E½ Lot 35, Concession 12 (Wettlaufer Heights, Harry Loewith and Croft lands) and 2 other properties. The remaining portions of the Schedule remained as it was in 1979, except that the 1979 Special Assessments were deleted because they were not applicable to maintenance. The 2013 "Schedule 2 - Schedule of Assessment" is the schedule to be used as the future maintenance schedule for the Hohner Drain and will be reapportioned as shown in Table 2-1 and Table 2-2. As above, Table 2-1 addresses the current PeopleCare Centres Inc. and 2825085 Ontario Inc. severances from the Canada Farm Distributors Ltd. property, and Table 2-2 addresses the new lots, streets, etc. created from the Ponds subdivision.

"Schedule 2 – Schedule of Assessments" from the 2013 report, where not changed by these 2023 Reapportionment Tables, will continue to be used until such time as the schedule is further modified in the future pursuant to Sections 65 or 76 of the Drainage Act. For purposes of future maintenance, the drawings and specifications from the Hohner Drain report by K. A. Smart, P. Eng. dated April 11, 1979, where not changed by this 2023 Report, are to be referred to and used.

Copies of Table 2-1 and 2-2 should be placed in the Township's files for the Hohner Drain.

Table 2-1

The "Assessment Schedule for Future Maintenance" will require reapportionment for the "Main Drain" portion of the 1979/2013 Schedule and involves the following 1979 properties:





- T. Graham (Con 12, Pt. 126 & Pts. 235)
- C. Schaefer (RP307, E Pt 65)
- L. Stere (RP307, Lot 68)
- People Care Centres (RP307, Lots 69 & 70)

For the properties shown in Reapportioned Assessments, the same comments apply as stated for Table 1-1. C. Schaefer & L. Stere were properties once purchased by PeopleCare Centres Inc. with the roll numbers having been consolidated.

Table 2-2

The "Assessment Schedule for Future Maintenance" will require reapportionment for the "Main Drain" portion of the 1979/2013 Schedule and involves the following 1979 properties:

- H. Wilker (RP307, SPt 64 & SPt 22) (Township of East Zorra-Tavistock)
- D. Halliday (RP307, WPt 64 & Pt 22) (Township of East Zorra-Tavistock)
- H. Wilker (Con 5, Pt Lot 22) (Township of Perth East)

For the properties shown in this Reapportionment Table, the same comments apply as stated for Table 1-2.

13.2 Duties of Landowners re Future Maintenance

All parties affected by the Tavistock Drain 1985 Reconstruction 2023 are encouraged to periodically inspect the Drain and report any visible or suspected problems to the Township. A right-of-way along the Drain and access routes to the Drain, as indicated in the *Section 11.1 Allowances* of this Report, and in the 1985 report, if indicated, shall remain free of obstructions and be available for future maintenance work. The cost for removing obstructions is the responsibility of the owner.

The owners of the private lands, on which any part of the Drain is located, have to make an access to and a right-of-way along the Drain available to the Township at all reasonable times to allow for repair and maintenance of the Drain in the future.

Any landowner making a new connection to the Drain shall notify the Drainage Superintendent before making the connection. If the Drainage Superintendent is not notified, the cost to remedy new connections that obstruct or otherwise damage the Drain will be the responsibility of the owner.

13.3 <u>Updating Maintenance Schedules for Future Parcel and Land Use Changes</u>

To ensure maintenance assessments remain equitable, the assessments provided in any maintenance schedule should be reapportioned under Section 65 if and when future severances or amalgamations occur, or if and when new lands are connected to the Drain or if and when a land-use change occurs that can be accommodated by the existing drain. If a future land-use change will cause the drain capacity to be exceeded, a report under Section 4 or 78 may be required to provide increased capacity.

As mentioned previously in *Section 13.1 Reapportionments*, once the proposed lots are confirmed for the 2825085 Ontario Inc. property, in order to acknowledge those additional severances and further update the Schedules of Assessment for Future Maintenance for both drains mentioned above, a report under Section 65 of the Drainage Act will be required.



14 PRIVACY OF LANDS

A right of way for the Township will exist along the Drain once constructed on each property. However, the property on which the right of way is located remains private property. Other landowners or the public may not enter or use the drain right of way. Persons authorized to enter the drain right of way to carry out duties authorized under the Act include: Engineers, Contractors and the appointed Drainage Superintendent and/or their assistants.

15 DRAINS TO BE ABANDONED

In accordance with Section 19 of the Act, the following drains are hereby abandoned of status under the Drainage Act:

- The existing Tavistock Drain 1985 across the Optimist Club of Tavistock and the proposed 2825085 Ontario Inc. subdivision lands as previously identified by Sta. 480 to 680± in the 1985 report. The portion across the Optimist Park property is proposed to be abandoned, whereas the portion across the proposed subdivision will be removed/destroyed.
- The existing Tavistock Drain 1985 across the PeopleCare Centres Inc. property as previously identified by Sta. 810± to 944.5± in the 1985 report. This portion will be removed/destroyed.

16 GRANTS ON MAINTENANCE ASSESSMENTS

In accordance with the provisions of Section 85 of the Drainage Act and OMAFRA's ADIP policies, a grant not exceeding 1/3 (33-1/3%) may be available in the future on the assessments against privately owned parcels of land which are used for agriculture (as per OMAFRA's ADIP policies) and are eligible for the Farm Property Class Tax Rate (F.P.C.T.R.), for maintenance and repair, if done on the recommendation and supervision of an approved Drainage Superintendent.

There are no grants available on the Special Benefit assessment to be made related to costs of this Report.

17 BYLAW PASSAGE AND CONSTRUCTION IMPLEMENTATION

It is recommended that this Report be processed through all the mandatory steps of the Drainage Act (i.e., circulation, consideration, court of revision and resolution of any appeals) to the point where it could be adopted as a bylaw.

This Report, including assessment schedules, reapportionment tables, appendices, drawings and specifications, once adopted by bylaw in accordance with the Drainage Act, RSO 1990, will provide the basis for construction and maintenance of the project unless modified in whole or in part by a new and separate report. Construction may be implemented upon passage of the Bylaw.



18 CHANGES TO DRAIN AFTER BYLAW PASSED AND BEFORE COST IS LEVIED Changes to the Drain requested by landowners, agencies or other authorities after the bylaw is passed cannot be undertaken unless the Report is amended.

Section 84.1 of the Act and the associated regulation, O. Reg. 500/21, now provide a process to amend this Report if design changes are required during construction. Design changes must: arise from unforeseen circumstances encountered during construction, comply with existing agency approvals, not increase the total project cost by more than 133% and not impact drain capacity. If design changes meet these criteria and are approved by the Engineer, the Report can be amended after construction with the asconstructed design before passing the actual cost bylaw.

Additional work desired by the landowner(s) which is not part of the drainage works may be arranged with the Contractor provided the cost of the work is paid by the landowner(s), and the Engineer reviews the additional work in advance. Such additional work is not part of the drainage works for future maintenance.

All of which is respectfully submitted.

K. SMART ASSOCIATES LIMITED

Curtis MacIntyre, P. Eng.





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SCHEDULE A - SCHEDULE OF ASSESSMENTS TAVISTOCK DRAIN 1985 RECONSTRUCTION 2023 TOWNSHIP OF EAST ZORRA-TAVISTOCK

Con/Plan	Lot	Roll No. (32-38-020-)	Owner	Special Benefit (Sec 24)
		(32-30-020-)		(360 24)
12	Pt 36	010-09500	PeopleCare Centres Inc.	415,675
12	Pt 35 & 36	010-14001	Optimist Club of Tavistock	0
12	Pt 35 & 36	010-18800	Canada Farm Distributors Limited	0
12	Pt 35	010-18811	2825085 Ontario Inc.	684,325
		TOTALS:		1,100,000

Notes:

- 1. The lands shown above are considered as non-agricultural.
- Section 21 of the Drainage Act, RSO 1990 requires that assessments be made to the
 affected parcel of land and road affected. The affected parcels of land have been
 identified using the roll number from the last revised assessment roll for the Township.
 For convenience only, the owners' names as shown by the last revised assessment roll,
 has also been included.

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SCHEDULE B - SCHEDULE FOR ACTUAL COST BYLAW TAVISTOCK DRAIN 1985 RECONSTRUCTION 2023 TOWNSHIP OF EAST ZORRA-TAVISTOCK

Con/ Plan	Lot	Roll No. (32-38-020-)	Owner	Gross Total	Less Allowances	NET ASSESSMENT
12 12 12 12	Pt 36 Pt 35 & 36 Pt 35 & 36 Pt 35	010-09500 010-14001 010-18800 010-18811	PeopleCare Centres Inc. Optimist Club of Tavistock Canada Farm Distributors Limited 2825085 Ontario Inc.	415,675 - - 684,325	18,600 4,100	(4,100) 684,325
		TOTALS:		1,100,000	22,700	1,077,300

Notes:

- 1. The lands shown above are considered as non-agricultural.
- Section 21 of the Drainage Act, RSO 1990 requires that assessments be made to the affected parcel of land
 and road affected. The affected parcels of land have been identified using the roll number from the last revised
 assessment roll for the Township. For convenience only, the owners' names as shown by the last revised
 assessment roll, has also been included.
- 3. Amounts in brackets () are amounts to be paid to the listed roll number.
- This schedule is included for information purposes only. It is not an official schedule, but could be used for preparing the actual cost by-law.
- 5. The value of the assessments identified in this schedule are estimates only and should not be considered final.
- 6. Actual assessment is levied to the owner of the parcel at the time of actual cost levy.

January 18, 2023

TABLE 1-1 **REAPPORTIONMENT FOR TAVISTOCK DRAIN 1985 (1)**

<u>Previous Assessments - Schedule of Assessment (October 31, 1985)</u> Tavistock Drain 1985 (Main Drain)

Tavisto	CK Drain	1905 (Main	Draili)						
				•		Approx. Ha	404 to 440	440 to 978.5	380 to 025
		Reg.	Reg. Plan	Roll No.	Owner (1985)	Affected	South of Hwy	Hwy to Hope St.	Main Drain on Hope St.
Con	Lot	Plan	Lot No.				Col. 1	Col. 2	Col. 3
				•					
		307	E PT. 65	010-09300	People Care Centres Inc.	(0.06)	274	274	350
		307	Pt. 68	010-09400	People Care Centres Inc.	(0.10)	338	338	350
		307	69 & 70	010-09500	People Care Centres Inc.	(0.70)	1317	1317	350
		307	Pt. 126	010-140-01	Canada Farm Distributors Ltd.	(3.00)	400	1,400	
		307	Pt. 128, Pt. 127 & Pt. 126	010-188	Canada Farm Distributors Ltd.	(4.00)	520	2,020	
			-		TOTALS:	(7.86)	2,849	5,349	1,050

Reapportioned Assessments

Tavistock Drain 1985 (Main Drain)

Con	Lot	Reg. Plan	Reg. Plan Lot No.	Roll No. (32-38-020-)	Owner (2023)	Approx. Ha Affected	404 to 440 South of Hwy Col. 1	440 to 978.5 Hwy to Hope St. Col. 2	380 to 025 Main Drain on Hope St. Col. 3
				010-09500 010-14001	PeopleCare Centres Inc. Optimist Club of Tavistock	(1.67) (1.14)	2,063 189	2,813 689	1,050
				010-18750 010-18800 010-18811	Township of East Zorra-Tavistock Canada Farm Distributors Limited 2825085 Ontario Inc.	(0.06) (2.24) (1.30)		10 1,371 465	
					TOTALS:	(6.41)	2,849	5,349	1,050

Notes:

- This table was prepared for the Tavistock Drain 1985 Reconstruction 2023 report dated January 18, 2023, and should be attached to the existing
- Tavistock Drain 1985 Assessment Schedule for Future Maintenance completed under a report dated October 31, 1985.

 The above "Reapportioned Assessments" and the assessments that have not been revised from the existing 1985 report schedule dated October 31, 1985 are to be used to assess out repair and maintenance costs when incurred. 2.
- "Reapportioned Assessments" are to replace "Previous Assessments" for the People Care Centres and Canada Farm Distributors Ltd. properties.

 The amounts shown are not dollars to be paid at this time. These amounts are only to be used to obtain the percentage or proportion that each parcel (property) and road will have of a future maintenance cost.
- This table will only come into effect once the Tavistock Drain 1985 Reconstruction 2023 has been constructed/completed and the Registered Plan for the proposed 2825085 Ontario Inc. subdivision has been registered and Assessment Roll Numbers, etc. have been assigned for each property/lots/blocks and the roads have been Column 4 (380 to 497 Branch A) from the original Tavistock Drain 1985 Schedule for Future Maintenance has not been impacted and was not included in the Table 1-1 above.

Calculations				
- Total Original Ha. Affected (1985) of 2 Canada Farm Distributors Ltd. properties (excludes 3 People Care Centres Inc: 010-09300, 010-09400 & 010-09500) - Total Original 1/2 Benefit Assessment (1985) applied to Roll No. 010-14001 - Total Original 1/2 Benefit Assessment (1985) applied to Roll No. 010-18800 - Total Original Outlet Assessments (1985) to 2 Canada Farm Distributors properties by interval (represents outlet \$ to be reapportioned)	(7.00) 1000 1500	920	920	
- Total New Ha. Affected (2023), excluding original People Care Centres Inc. properties (Canada Farm Distributors Ltd. + Optimist Club of Tavistock + 2825085 Ontario Inc. + 1 Twp lot on Hope Street West + new PeopleCare Centres Inc. area) Original Outlet Assessments (1985) for People Care Centres properties will be added to Roll No. 010-09500 (PeopleCare Centres Inc.)	(5.55)			
- Total Original 1/2 Benefit Assessment on Roll No. 010-14001 carried over and applied to Roll No. 010-14001 (500), Roll No. 010-18800 (250) and Roll No. 010-18811 (250)	1000			
Total Original 1/2 Benefit Assessment on Roll No. 010-18800 carried over and applied half to Roll No. 010-18800 (750) an half to Roll No. 010-09500 (750)	1500			
Outlet rate applied to properties in Reapportioned Assessment by interval (/Ha. Affected):		165.74	165.74	

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TABLE 1-2 REAPPORTIONMENT FOR TAVISTOCK DRAIN 1985 (2)

Previous Assessments - Schedule of Assessment (October 31, 1985) Tavistock Drain 1985 (Main Drain)

Tavisto	CK Diaiii	1905 (Maili	<u>Diailij</u>						
						Approx. Ha	404 to 440	440 to 978.5	380 to 025
		Reg.	Reg. Plan	Roll No.	Owner (1985)	Affected	South of Hwy	Hwy to Hope St.	Main Drain on Hope St.
Con	Lot	Plan	Lot No.				Col. 1	Col. 2	Col. 3
Townshi	ip of South	Easthope							
5	Pt 22			20-083-10	G. & M. Holst	(0.70)	144	144	18
Townshi	ip of East Z	orra-Tavistoo	ck						
		307	W Pt. 64 & Pt. 22	020-095	B. Halliday	(1.25)	1,135	1,135	350
		307	Pt. 22 & S. Pt. 64	020-121	G. & M. Holst	(7.00)	1,674	1,674	171
		•		•	TOTALS:	(8.95)	2,953	2,953	539

Reapportioned Assessments

		Reg.	Reg. Plan	Roll No.	Owner (2023)	Approx. Ha Affected	404 to 440	440 to 978.5	380 to 025 Main Drain on Hope S
on	Lot	Plan	Lot No.	(32-38-020-)	(Left out)		Col. 1	Col. 2	Col. 3
				020-09500		(1.02)	318	318	
nd Pro	perties create	ed from Po	nds Subdivision	000 00500		(0.05)	40	10	
				020-09502 020-09503		(0.05)	16		
				020-09504		(0.05)	16 16		
				020-09505		(0.05)	16		
		41M-295	1	020-12103		(0.08)	25		
		41M-295	2	020-12104		(0.07)	22	22	
		41M-295	3	020-12105		(0.05)	16		
		41M-295	4	020-12106		(0.05)	14		
		41M-295	5	020-12107		(0.05)	14	14	
		41M-295 41M-295	<u>6</u> 7	020-12108 020-12109		(0.05)	16		
		41M-295	8	020-12110		(0.08)	25 28		
		41M-295	9	020-12111		(0.05)	16		
		41M-295	10	020-12112		(0.05)	14	14	
		41M-295	11	020-12113		(0.05)	14		
		41M-295	12	020-12114		(0.05)	14	14	
		41M-295	13	020-12115		(0.05)	14	14	
		41M-295	14	020-12116		(0.06)	19	19	
		41M-295	15	020-12117		(0.05)	14	14	
		41M-295 41M-295	16 17	020-12118 020-12119		(0.05)	14 14		
		41M-295	18	020-12119		(0.05)	14		
		41M-295	19	020-12121		(0.03)	22	22	
		41M-295	20	020-12122		(0.12)	37	37	
		41M-295	21	020-12123		(0.05)	16		
		41M-295	Block 22	020-12124	SWM POND	(0.46)	144	144	
		41M-310	1	020-12127		(0.06)	19	19	
		41M-310	2	020-12128		(0.05)	14	14	
		41M-310	3	020-12129		(0.05)	14	14	
		41M-310	4	020-12130		(0.05)	14	14	
		41M-310 41M-310	<u>5</u> 6	020-12131 020-12132		(0.05)	14 14	14 14	
		41M-310	7	020-12133		(0.05)	14	14	
		41M-310	8	020-12134		(0.05)	14		
		41M-310	9	020-12135		(0.05)	14		
		41M-310	10	020-12136		(0.08)	25	25	
		41M-310	11	020-12137		(0.05)	14	14	
		41M-310	12	020-12138		(0.05)	14		
		41M-310	13	020-12139		(0.06)	19		
		41M-310 41M-310	14 15	020-12140 020-12141		(0.05)	14 14	14 14	
		41M-310	16	020-12141		(0.05)	14	14	
		41M-310	17	020-12143		(0.05)	14		
		41M-310	18	020-12144		(0.05)	14		
		41M-310	19	020-12145		(0.05)	14	14	
		41M-310	20	020-12146	-	(0.05)	14	14	
		41M-310	21	020-12147	·	(0.06)	19		
		44M-68	1	020-12150		(0.12)	37		
		44M-68	2	020-12151		(0.07)	22	22	
		44M-68 44M-68	<u>3</u> 4	020-12152 020-12153		(0.07)	22 19	22 19	
		44M-68	4 5	020-12153		(0.06)	19		
		44M-68	6	020-12155		(0.05)	16		
		44M-68	7	020-12156		(0.05)	16		
		44M-68	8	020-12157		(0.05)	16		
		44M-68/		020-12158 &		(0.04)	13		
		41M-335	Block 9/Block 29	020-12194					
		44M-68/	DII-40/DI 00	000 40455		(0.05)	16	16	
		41M-335	Block 10/Block 28	020-12159					
		44M-68/	Plack 11/Plack 97	020 42460		(0.14)	44	44	
		41M-335	Block 11/Block 27	020-12160 020-12163,		(0.02)	6	6	
				020-12164,		(0.02)	б	б	
		44M-68/	Blocks 14, 15, 16/	020-12165 &					
		41M-335	Block 22	020-18700					
		41M-335	1	020-12166		(0.05)	14	14	

January 18, 2023 Page 34 File No. 85039, 21-135

Reapportioned Assessments Tavistock Drain 1985 (Main Drain)

Approx. Ha 404 to 440 440 to 978.5 380 to 025 Reg. Plan Reg Roll No. Owner (2023) Affected South of Hwy Hwy to Hope St. Main Drain on Hope St Lot Lot No Plan (Left out) Col. 1 Col. 3 (32-38-020-Col. 2 41M-335 41M-335 020-12167 (0.05)14 14 020-12168 (0.05)14 14 41M-335 020-12169 14 14 (0.05)41M-335 020-12170 5 (0.05 14 14 41M-335 6 020-12171 (0.05 14 14 41M-335 020-12172 (0.05)14 14 41M-335 020-12173 9 (0.05 14 14 41M-335 020-12174 (0.05)14 14 41M-335 10 020-12175 (0.05)16 16 41M-335 11 020-12176 (0.07 22 41M-335 12 13 020-12177 (0.05)16 16 41M-335 020-12178 (0.05)16 16 41M-335 020-12179 (0.05)16 16 41M-335 15 020-12180 (0.05 16 16 41M-335 16 17 020-12181 (0.05)16 16 41M-335 020-12182 (0.06)19 19 41M-335 18 020-12183 (0.07 22 22 41M-335 19 020-12184 (0.08)25 25 41M-335 41M-335 020-12185 20 (0.05)14 14 Block 2 020-12186 25 14 (0.08)25 44M-68/ 14 (0.05)41M-335 Block 13/Block 23 020-12188 44M-68 Block 12/ (0.05) 16 16 41M-335 Block 24 & 25 020-12189 41M-335 Block 26 020-12191 (0.03) 9 9 41M-335 Block 27 020-12192 (0.03)9 9 41M-335 Block 30 020-12195 SWM Pond (1.68) 524 524 96 Sub Total on Lands: (7.65 2.385 2,385 435 Roads Halliday Drive Township of East Zorra-Tavistock (1.09)340 340 62 Jacob Street West Township of East Zorra-Tavistock (0.67 209 209 38 Hansuld Drive Township of East Zorra-Tavistock (0.06)19 19 Sub Total on Roads: TOTALS: (1.82) (9.47) 568 2.953 568 2.953 104

Notes:

- This table was prepared for the Tavistock Drain 1985 Reconstruction 2023 report dated January 18, 2023, and should be attached to the existing Tavistock Drain 1985 Assessment Schedule for Future Maintenance completed under a report dated October 31, 1985.
- 2. The above "Reapportioned Assessments" and the assessments that have not been revised from the existing 1985 report schedule dated October 31, 1985 are to be used to assess out repair and maintenance costs when incurred.
- 3. "Reapportioned Assessments" are to replace "Previous Assessments" for the B. Halliday and G. & M. Holst properties (Ponds Subdivision).
- 4. The amounts shown are not dollars to be paid at this time. These amounts are only to be used to obtain the percentage or proportion that each parcel (property) and road will have of a future maintenance cost.
- 5. This table will only come into effect once the bylaw for the Tavistock Drain 1985 Reconstruction 2023 has received third reading.
- 6. Column 4 (380 to 497 Branch A) from the original Tavistock Drain 1985 Schedule for Future Maintenance has not been impacted and was not included in the Table 1-2 above.
 7. The total original Approx. Ha. Affected (1985) for the B. Halliday property plus the G. & M. Holst properties do not total to the same total Approx. Ha. affected shown in the
- 7. The total original Approx. Ha. Affected (1985) for the B. Halliday property plus the G. & M. Holst properties do not total to the same total Approx. Ha. affected shown in the "Reapportioned Assessments. This is partially because the new Ponds subdivision includes a portion of land previously shown as owned by C.N.R. and also includes additional land north of the C.N.R. not previously included in the Tavistock Drain 1985 watershed. This discrepancy in total areas does not affect the calculations of "Reapportioned Assessments". The future maintenance totals of the original properties is proportioned over the total new lands shown today as a result of the subdivision and other severences in this area.
- 8. It was confirmed by the Township that parcels with Roll No.'s 020-12163, 020-12164, 020-12165 and 020-12187 are all owned by the owner of property with Roll No. 020-12186 but are easements in favor of the township for the turning circle at the end of Jacob Street West. If the area represented by these four parcels is still a turning circle at the time maintenance work occurs, the township of East Zorra-Tavistock should pay for the maintenance assessment as per this reapportionment table. If however, the viewer, the viewer of the viewer of the viewer of the viewer of viewer of
- 9. At the time of the creating of this Table 1-2 of "Reapportioned Assessments", one property along Jacob Street West still shows as two separate roll numbers, though it is clear that it is one property and house has already been constructed. It is for this reason that these two roll numbers have been joined and considered as one assessment. If roll numbers are merged in the future, it is expected that one of these two roll numbers will be retained for this property.

Calculations				
- Total Original Ha. Affected (1985) of B. Halliday and two (2) G. & M. Holst properties - Total Original Outlet Assessments (1985) of B. Halliday and two (2) G. & M. Holst properties by interval	(8.95)	2,953	2,953	539
- Total New Ha. Affected (2023) for all properties	(9.47)			
Outlet rate applied to properties in Reapportioned Assessment by interval (/Ha. Affected):		311.99	311.99	56.95

TABLE 2-1 REAPPORTIONMENT FOR HOHNER DRAIN (1)

Previous Assessments - Schedule of Assessment (November 19, 2013/ April 11, 1979)

Main Drain

Con	Plan	Lot	Roll No.	Owner (1985)	Approx. Acres	Approx. Ha	Benefit	Outlet	Total
					Affected	Affected			
	RP307	Pt. 126, 127, & 128		Canada Farm Distributors	15.6	(6.31)		1,172	1,172
12		Pt 126 & Pts. 235		T. Graham	9.0	(3.64)	1,500	675	2,175
	RP307	E Pt 65		C. Schaefer	0.2	(80.0)		15	15
	RP307	68		L. Stere	0.3	(0.12)		15	15
	RP307	69 & 70		People Care Centres	1.7	(0.69)		40	40
				TOTALS:		(10.85)	1,500	1,917	3,417

Reapportioned Assessments Main Drain

Con	Plan	Lot	Roll No.	Owner (2023)	Approx. Acres	Approx. Ha	Benefit	Outlet	Total
			(32-38-020-)		Affected	Affected			
12		Pt 36	010-09500	PeopleCare Centres Inc.		(1.70)	0	236	236
12		Pt 35 & 36	010-14001	Optimist Club of Tavistock		(4.29)	1,500	882	2,382
12		Pt 35 & 36	010-18800	Canada Farm Distributors Limited		(2.59)	0	532	532
12		Pt 35	010-18811	2825085 Ontario Inc.		(1.30)	0	267	267
			_	TOTALS:		(9.88)	1,500	1,917	3,417

- Notes:
 1. This table was prepared for the Tavistock Drain 1985 Reconstruction 2023 report dated January 18, 2023, and should be attached to the existing

 Hohner Drain 2013 Schedule 2 Schedule of Assessments completed under a section 76 appointment dated November 19, 2013.
 2. The above "Reapportioned Assessments" and the assessments that have not been revised from the existing 1985 report schedule dated October 31, 1985 are to be used
- The above reapportioned Assessments and the assessments that have not been revised from the existing 1965 report schedule dated October 31, 1965 are to to assess out repair and maintenance costs when incurred.
 "Reapportioned Assessments" are to replace "Previous Assessments" for the People Care Centres and Canada Farm Distributors Ltd. properties.
 The amounts shown are not dollars to be paid at this time. These amounts are only to be used to obtain the percentage or proportion that each parcel (property) and road will have of a future maintenance cost.
 This table will only come into effect once the bylaw for the Tavistock Drain 1985 Reconstruction 2023 has received third reading.

Calculations		
- Total Original Ha. Affected (1979) of Canada Farm Distributors and T. Graham, properties - Total Original Benefit Assessment (1979) for T. Graham (Con 12, Pt. 126 & Pts 235) - Total Original Outlet Assessments (1979) to Canada Farm Distributors and T. Graham properties (used to establish Outlet/Ha)	(9.96) 1500 1,847	
- Total New Ha. Affected (2023), excluding original People Care Centres, L. Stere & C. Schaefer properties (Canada Farm Distributors Ltd. + Optimist Club of Tavistock + 2825085 Ontario Inc. + + new PeopleCare Centres Inc. area)	(8.99)	
Original Outlet Assessments (1979) for People Care Centres, L. Stere & C. Schaefer will be added to Roll No. 010-09500 (PeopleCare Centres Inc.) - Total Original Benefit Assessment (1979) for T. Graham now applied to Roll No. 010-14001 (Optimist Club of Tav	1500	
Outlet rate applied to properties in Reapportioned Assessment (/Ha. Affected):		205.55 /Ha. Affected

TABLE 2-2 REAPPORTIONMENT FOR HOHNER DRAIN (2)

Previous Assessments - Schedule of Assessment (November 19, 2013/ April 11, 1979)

<u>Main L</u>	<u> Jrain</u>								
Con	Plan	Lot	Roll No.	Owner (1979)	Approx. Acres	Approx. Ha	Benefit	Outlet	Total
					Affected	Affected			
Townsh	nip of East	Zorra-Tavistock							
	RP307	SPt 64 & SPt 22	H	ł. Wilker	17.75	(7.18)		478	478
	RP307	WPt 64 & Pt 22	[). Halliday	3.00	(1.21)		75	75
Townsh	nip of Perth	n East							
5		Pt 22	H	ł. Wilker	1.80	(0.73)		45	45
			•	TOTALS:		(9.13)	0	598	598

Reapportioned Assessments Main Drain

	<u> Drain</u>								
on	Reg. Plan	Reg. Plan Lot No.	Roll No. (32-38-020-)	Owner (2023) (Left out)	Approx. Acres Affected	Approx. Ha Affected	Benefit	Outlet	Total
	T IGH	LOCITO.	020-09500	(Lon out)	711100100	(1.02)	0	64	
nd P	roperties ci	reated from Ponds S	Subdivision 020-09502			(0.05)	0	3	
			020-09503			(0.05)	0	3	
			020-09504			(0.05)	0	3	
			020-09505			(0.05)	0	3	
	41M-295	1	020-12103			(80.0)	0	5	
	41M-295	2	020-12104			(0.07)	0	4	
	41M-295	3	020-12105			(0.05)	0	3	
	41M-295 41M-295	<u>4</u> 5	020-12106 020-12107			(0.05)	0	<u>3</u> 3	
	41M-295	6	020-12108			(0.05)	0	3	
	41M-295	7	020-12109			(0.08)	0	5	
	41M-295	8	020-12110			(0.09)	0	6	
	41M-295	9	020-12111			(0.05)	0	3	
	41M-295	10	020-12112			(0.05)	0	3	
	41M-295	11	020-12113			(0.05)	0	3	
	41M-295	12	020-12114			(0.05)	0	3	
	41M-295 41M-295	13 14	020-12115 020-12116			(0.05)	0	<u>3</u>	
	41M-295	15	020-12110			(0.05)	0	3	
	41M-295	16	020-12118			(0.05)	0	3	
	41M-295	17	020-12119			(0.05)	0	3	
	41M-295	18	020-12120			(0.05)	0	3	
	41M-295	19	020-12121			(0.07)	0	4	<u> </u>
	41M-295	20	020-12122			(0.12)	0	8	
	41M-295	21	020-12123	011/11/2017		(0.05)	0	3	
	41M-295 41M-310	Block 22	020-12124	SWM POND		(0.46)	0	29	
	41M-310 41M-310	2	020-12127 020-12128			(0.06)	0	<u>4</u> 3	
	41M-310	3	020-12129			(0.05)	0	3	
	41M-310	4	020-12130			(0.05)	0	3	
	41M-310	5	020-12131			(0.05)	0	3	
	41M-310	6	020-12132			(0.05)	0	3	
	41M-310	7	020-12133			(0.05)	0	3	
	41M-310	8	020-12134			(0.05)	0	3	
	41M-310	9	020-12135			(0.05)	0	3	
	41M-310	10	020-12136			(0.08)	0	5	
	41M-310 41M-310	11 12	020-12137 020-12138			(0.05)	0	3	
	41M-310	13	020-12139			(0.06)	0	4	
	41M-310	14	020-12140			(0.05)	0	3	
	41M-310	15	020-12141			(0.05)	0	3	
	41M-310	16	020-12142			(0.05)	0	3	
	41M-310	17	020-12143			(0.05)	0	3	
	41M-310	18	020-12144			(0.05)	0	3	
	41M-310	19	020-12145			(0.05)	0	3	
	41M-310 41M-310	20 21	020-12146 020-12147			(0.05)	0	<u>3</u>	
	44M-68	1	020-12147			(0.06)	0	4 8	
	44M-68	2	020-12151			(0.12)	0	<u>o</u>	
	44M-68	3	020-12152			(0.07)	0	4	
	44M-68	4	020-12153			(0.06)	0	4	
	44M-68	5	020-12154			(0.05)	0	3	
	44M-68	6	020-12155			(0.05)	0	3	
	44M-68	7	020-12156			(0.05)	0	3	
	44M-68	8	020-12157			(0.05)	0	3	
	44M-68/ 41M-335	Block 9/Block 29	020-12158 & 020-12194			(0.04)	0	3	
	44M-68/	DIOUR S/DIOUR 29	020-12134			(0.05)	0	3	
	41M-335	Block 10/Block 28	020-12159			(0.00)	0	3	
	44M-68/					(0.14)	0	9	
	41M-335	Block 11/Block 27	020-12160						
			020-12163,			(0.02)	0	1	
	4414.551	DI 1 44 4= 4=:	020-12164,			1			
	44M-68/	Blocks 14, 15, 16/	020-12165 &						
	41M-335	Block 22	020-18700		+	(0.05)		2	
	41M-335 41M-335	<u>1</u>	020-12166 020-12167			(0.05)	0	3	
	41M-335 41M-335	3	020-12167		1	(0.05)	0	3 3	
	41M-335	4	020-12169			(0.05)	0	3	
	41M-335	5	020-12170		+	(0.05)	0	3	

Reapportioned Assessments

Main Drain

Con	Reg.	Reg. Plan	Roll No.	Owner (2023)	Approx. Acres	Approx. Ha	Benefit	Outlet	Total
	Plan	Lot No.	(32-38-020-)	(Left out)	Affected	Affected			
	41M-335	6	020-12171			(0.05)	0	3	3
	41M-335	7	020-12172			(0.05)	0	3	3
	41M-335	8	020-12173			(0.05)	0	3	3
	41M-335	9	020-12174			(0.05)	0	3	3
	41M-335	10	020-12175			(0.05)	0	3	3
	41M-335	11	020-12176			(0.07)	0	4	4
	41M-335	12	020-12177			(0.05)	0	3	3
	41M-335	13	020-12178			(0.05)	0	3	3
	41M-335	14	020-12179			(0.05)	0	3	3
	41M-335	15	020-12180			(0.05)	0	3	3
	41M-335	16	020-12181			(0.05)	0	3	3
	41M-335	17	020-12182			(0.06)	0	4	4
	41M-335	18	020-12183			(0.07)	0	4	4
	41M-335	19	020-12184			(80.0)	0	5	5
	41M-335	20	020-12185			(0.05)	0	3	3
	41M-335	Block 21	020-12186			(80.0)	0	5	5
	44M-68/					(0.05)	0	3	3
	41M-335	Block 13/Block 23	020-12188						
	44M-68/	Block 12/Block 24				(0.05)	0	3	3
	41M-335	& 25	020-12189						
	41M-335	Block 26	020-12191			(0.03)	0	2	2
	41M-335	Block 27	020-12192			(0.03)	0	2	2
	41M-335	Block 30	020-12195	SWM Pond		(1.68)	0	106	106
				Sub Total on Lands:		(7.65)	0	483	483
Roads									
		Halliday Drive		nship of East Zorra-Tavistock		(1.09)	0	69	69
		Jacob Street West		nship of East Zorra-Tavistock		(0.67)	0	42	42
		Hansuld Drive	Towi	nship of East Zorra-Tavistock		(0.06)	0	4	4
				Sub Total on Roads:		(1.82)	0	115	115
				TOTALS:		(9.47)	0	598	598

- This table was prepared for the Tavistock Drain 1985 Reconstruction 2023 report dated January 18, 2023, and should be attached to the existing **Hohner Drain 2013 Schedule 2 Schedule of Assessments** completed under a section 76 appointment dated November 19, 2013. 1.
- The above "Reapportioned Assessments" and the assessments that have not been revised from the existing report schedule completed under a Section 76 appointment dated November 19, 2013 are to be used to assess out repair and maintenance costs when incurred.
- "Reapportioned Assessments" are to replace "Previous Assessments" for the D. Halliday and H. Wilker properties (Ponds Subdivision).
 The amounts shown are not dollars to be paid at this time. These amounts are only to be used to obtain the percentage or proportion that each parcel (property) and road will have of a future maintenance cost.
- This table will only come into effect once the bylaw for the Tavistock Drain 1985 Reconstruction 2023 has received third reading.
- The total original Approx. acres/Ha. Affected (1979) for the D. Halliday property plus the H. Wilker properties do not total to the same total Approx. Ha. affected shown in the "Reapportioned Assessments. This is partially because the new Ponds subdivision includes a portion of land previously shown as owned by land north of the C.N.R. not previously included in the Tavistock Drain 1985 watershed. This discrepancy in total areas does not affect the calculations of C.N.R. and also includes additional "Reapportioned Assessments". The future maintenance totals of the original properties are proportioned over the total
- new lands shown today as a result of the subdivision and other severences in this area.

 It was confirmed by the Township that parcels with Roll No.'s 020-12163, 020-12165 and 020-12187 are all owned by the owner of property with Roll No. 020-12186 but are easements in favor of the township for the turning circle at the end of Jacob Street West. If the area represented by these four parcels is still a turning circle at the time maintenance work occurs, the township of East Zorra-Tavistock should pay for the maintenance assessment as per this reapportionment table. If however, the village has expanded to the west, with the turning circle and easement removed, this assessment should be included with the assessment to property with Roll No. 020-12186.
- At the time of the creating of this Table 2-2 of "Reapportioned Assessments", one property along Jacob Street West still shows as two separate roll numbers. though it is clear that it is one property and house has already been constructed. It is for this reason that these two roll numbers have been joined and considered as one assessment. If roll numbers are merged in the future, it is expected that one of these two roll numbers will be retained for this property.



APPENDIX A

Explanatory Note Sent to Landowners





K. SMART ASSOCIATES LIMITED

CONSULTING ENGINEERS AND PLANNERS

85 McIntyre Drive Kitchener ON N2R 1H6 www.ksmart.ca

January 18, 2023 File No. 21-135

Tel: (519) 748-1199

Fax: (519) 748-6100

RE: TAVISTOCK DRAIN 1985 RECONSTRUCTION 2023

Pt. Lots 126 to 128, Registered Plan 307, Part 2 Plan 41R-1977

Dear Sir/Madam,

In September/October 2021 the Township of East Zorra-Tavistock appointed K. Smart Associates Limited to prepare a Drainage Report pursuant to Section 4 of the Drainage Act, RSO 1990. This Council resolution was in response to two petitions for relocation of the existing Tavistock Drain 1985 in Pt. Lots 126 to 128, Registered Plan 307, Part 2 Plan 41R-1977 (lands west of William Street South, between Hope Street West and Woodstock Street South) for the purpose of development.

The relocation of the Tavistock Drain 1985 is to facilitate the construction of a new long-term care facility on William Street South, as well as a residential development on Woodstock Street South. The Tavistock Drain 1985 is a 900mm diameter (36") pipe that provides the stormwater outlet for your area and is currently located in the middle of the two proposed developments. This Drainage Report will provide for the relocation of the drain around the new developments and, in the process, will improve the drain's capacity.

This letter is only a notification of the drainage work proposed for the Tavistock Drain 1985, as your property is within the watershed of the Drain. No costs relating to the Drainage Report or drain construction work will be levied to your property. The Engineer will be assessing all costs to the owners of the two developments.

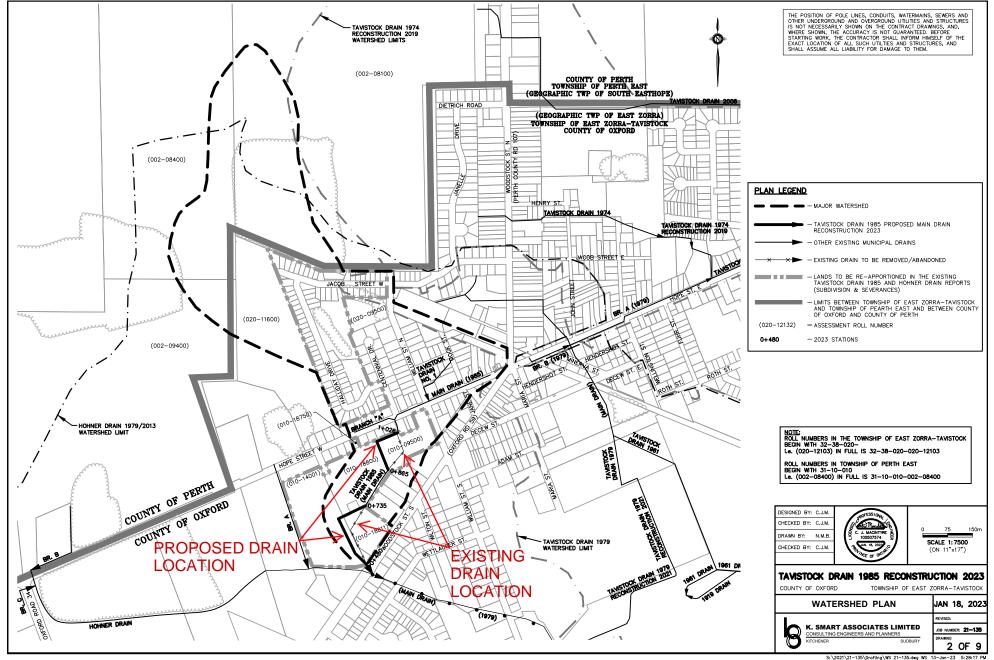
For your convenience, an overall plan drawing showing the existing drain and the proposed rerouting of the Tavistock Drain 1985 is enclosed.

If you wish to view the Drainage Report, copies are available at the Township office in Hickson or an electronic version can be requested by contacting the Engineer at cmacintyre@ksmart.ca. If you have any questions or concerns about the <u>drain relocation work</u> please call Connor Occleston at the Township at 519-462-2697 or the Engineer at 519-748-1199, Ext. 252.

This Report, regarding the relocation of the drain, will be considered before Township Council on Wednesday, February 15, 2023 at 7:00 p.m.

Sincerely,

Curtis MacIntyre, P. Eng. K. Smart Associates Limited





K. SMART ASSOCIATES LIMITED

CONSULTING ENGINEERS AND PLANNERS

85 McIntyre Drive Kitchener ON N2R 1H6 www.ksmart.ca

Tel: (519) 748-1199 Fax: (519) 748-6100

January 18, 2023

File No. 21-135

RE: TAVISTOCK DRAIN 1985 RECONSTRUCTION 2023

Pt. Lots 126 to 128, Registered Plan 307, Part 2 Plan 41R-1977

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MAINTENANCE SCHEDULE REAPPORTIONMENTS FOR PONDS SUBDIVISION

(HALLIDAY DRIVE & JACOB STREET WEST PROPERTIES)

Dear Sir/Madam,

In September/October 2021 the Township of East Zorra-Tavistock appointed K. Smart Associates Limited to prepare a Drainage Report pursuant to Section 4 of the Drainage Act, RSO 1990. This Council resolution was in response to two petitions for relocation of the existing Tavistock Drain 1985 in Pt. Lots 126 to 128, Registered Plan 307, Part 2 Plan 41R-1977 (lands west of William Street South, between Hope Street West and Woodstock Street South) for the purpose of development.

The relocation of the Tavistock Drain 1985 is to facilitate the construction of a new long-term care facility on William Street South, as well as a residential development on Woodstock Street South. The Tavistock Drain 1985 is a 900mm diameter (36") pipe that provides the stormwater outlet for your area and is currently located in the middle of the two proposed developments. The primary purpose of this Drainage Report is to provide for the relocation of the drain around the new developments and, in the process, improve the drain's capacity.

In addition, drain reports are required to contain a "Maintenance Schedule" outlining the distribution of costs if/when maintenance work is undertaken on the drain in the future. Since the original Maintenance Schedule was created in 1985, an update is required to add your properties to the schedule (secondary purpose of the Drainage Report). Table 1-2 attached to this letter outlines the re-distribution (reapportionment) of the original 1985 properties to the current subdivision properties that exist today. It is important to note that the numbers in the Table are <u>not</u> costs to you, they are values used to determine your property's share of costs if/when maintenance work is completed on the drain in the future. Table 2-2 is the reapportionment to the schedule of the "Hohner Drain".

This letter is only a notification of the drainage work proposed, and reapportionment to the schedule of the Tavistock Drain 1985 and Hohner Drain, as your property is within the watershed of both drains. No costs relating to the Drainage Report or drain construction work will be levied to your property. The Engineer will be assessing all costs to the owners of the developments and original owner of the subdivision.

For your convenience, an overall plan drawing showing the existing drain and the proposed rerouting of the Tavistock Drain 1985 is enclosed. Also shown are the properties on Halliday Drive and Jacob Street West being reapportioned by Tables 1-2 & 2-2.

(see back)

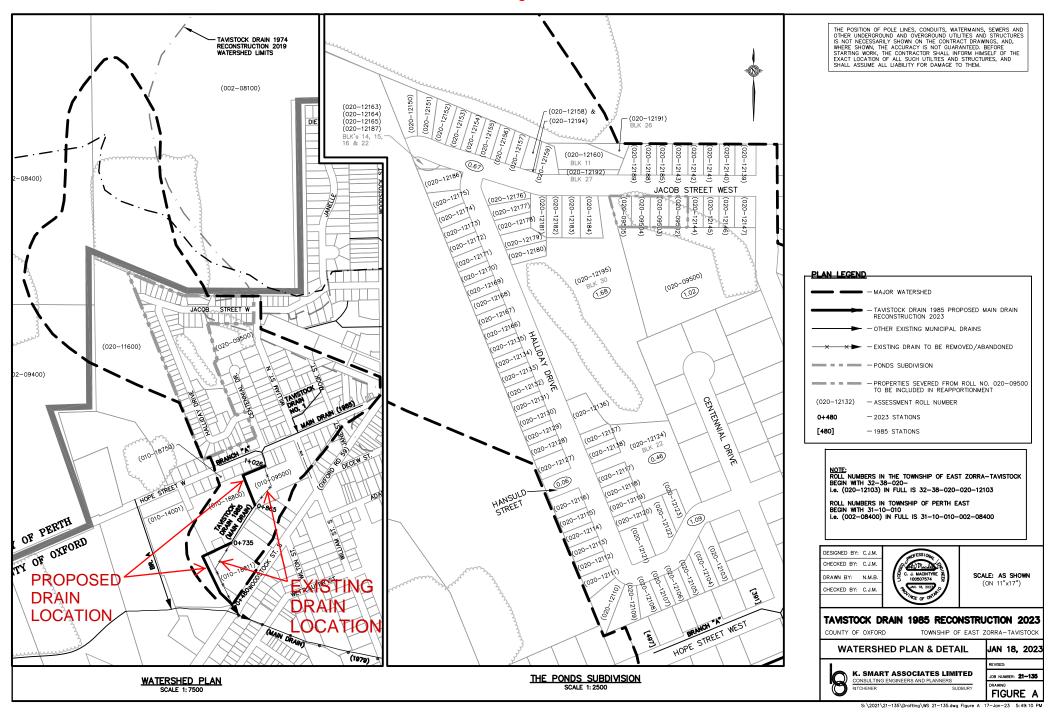
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If you wish to view the Drainage Report, copies are available at the Township office in Hickson or an electronic version can be requested by contacting the Engineer at cmacintyre@ksmart.ca. If you have any questions or concerns about the <u>drain relocation work</u> please call Connor Occleston at the Township at 519-462-2697 or the Engineer at 519-748-1199, Ext. 252.

This Report, regarding the relocation of the drain, will be considered before Township Council on Wednesday, February 15, 2023 at 7:00 p.m.

Sincerely,

Curtis MacIntyre, P. Eng. K. Smart Associates Limited



APPENDIX B

Technical Memorandum





January 18, 2023 Ref. #21-135

Technical Memorandum Tavistock Drain 1985

Introduction

This technical memo has been prepared to analyze an appropriate reduction in pipe sizing for the Tavistock Drain 1985 from its current recommended size as depicted in the "Tavistock Master Storm System Drainage Plan" (TMSSDP) prepared by R. J. Burnside and Associates dated 2007 [2]. Two (2) new developments within the lower watershed of the Tavistock Drain 1985 will propose a re-alignment of the existing drain and therefore, as a requirement of the Township, upsizing of the pipe to meet the recommendations in the R.J. Burnside Report.

It has been brought to the engineer's attention that after this 2007 report was completed, a subdivision in the upper part of the watershed was constructed with enlarged stormwater management facilities that should reduce the flow downstream and therefore make the recommendations for pipe sizing in the 2007 report out of date.

To complete this analysis, in addition to the 2007 report, the "Stormwater Management Design Report for Mansoura Developments Inc." prepared by Gamsby and Mannerow dated March 12, 2013 [2] was also reviewed.

Background

The two developments were created as severances from the original Canada Farm Distributors Ltd. property located between Woodstock Street South, Hope Street West and William Street South on the west end of Tavistock. The size of the existing Drain through this property is a 900mm dia. pipe at a 0.91% slope for the majority of the route, increasing to a 0.96% slope near Woodstock Street South and Optimist Park. The "Tavistock Master Storm System Drainage Plan" considers the Tavistock Drain 1985 as a trunk sewer for the village and recommends that all trunk sewers be sized to the 10-year storm. Exhibit 1 shows the pipes evaluated by the TMSSDP. Exhibit 2 shows the plan and profile of the drain from the K. Smart Associates Limited 1985 report. Table 1 below separates each segment of pipe (4) through the sites in question, comparing the existing capacities to the capacities of the recommended pipe sizes contained in the TMSSDP. In summary, the TMSSDP recommended the following pipe sizes starting at Hope Street West, continuing south to Woodstock Street South: 975mm dia. (node 521x to 780), 1050mm dia. (node 780 to 781), 1200mm dia. (node 781 to 782), and finally back to a 1050mm dia. (node 782 to 783). Since the relocated drain will contain grades differing from those currently existing (typically flatter grades since relocations are longer than existing alignments), it is the capacity of the recommended pipe sizes using existing grades that is compared to when observing the proposed design.



info@ksmart.ca www.ksmart.ca

Tel: 519-748-1199

Fax: 519-748-6100

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Ę.	Description	Slope	n	D (m)	y (m)	Θ (rad)	A (m2)	P (m)	R (m)	Q (m3/s)	V (m/s)
Centre	Existing	0.0091	0.013	0.900	0.850	5.33	0.62	2.40	0.2593715	1.857	2.984
	Recomm. (TMSSDP)	0.0091	0.013	0.975	0.920	5.32	0.73	2.60	0.2812343	2.299	3.150
PeopleCare Inc.											
Ö	Node 780 to 781 (Sta.										
효	Description	Slope	n	D (m)	y (m)	Θ (rad)	A (m2)	P (m)	R (m)	Q (m3/s)	V (m/s)
) O	Existing	0.0091	0.013	0.900	0.850	5.33	0.62	2.40	0.2593715	1.857	2.984
-	Recomm. (TMSSDP)	0.0091	0.013	0.975	0.920	5.32	0.73	2.60	0.2812343	2.299	3.150
ن	Node 781 to 782 (Sta.	. 775 to 595)								
Ĕ	Description	Slope	n	D (m)	y (m)	Θ (rad)	A (m2)	P (m)	R (m)	Q (m3/s)	V (m/s)
9.	Existing	0.0091	0.013	0.900	0.850	5.33	0.62	2.40	0.2593715	1.857	2.984
Ontario	Recomm. (TMSSDP)	0.0091	0.013	1.200	1.130	5.31	1.10	3.18	0.3468088	4.000	3.622
ő											
35	Node 782 to 783 (Sta.	595 to 480)								
5085	Description	Slope	n	D (m)	y (m)	Θ (rad)	A (m2)	P (m)	R (m)	Q (m3/s)	V (m/s)
282	Existing	0.0096	0.013	0.900	0.840	5.24	0.62	2.36	0.2621412	1.908	3.087
ñ	Recomm. (TMSSDP)	0.0096	0.013	1.050	0.990	5.32	0.85	2.79	0.3030945	2.878	3.401

Table 1: Existing and Recommended Pipe Sizes from TMSSDP

It is noted that the recommended pipe size jumped up to 1200mm and then back down to a 1050mm for the final length to Woodstock Street South. Considering that the only change in this section is a slight increase of grade from 0.91% to 0.96%, it can be inferred that the modeler's design flow from node 781 downstream is approximately equal to the capacity of a 1050mm pipe at a 0.96% grade (2.88 m³/s). It is believed that the 1200mm pipe between nodes 781 & 782 is only proposed because the 0.91% grade does not quite meet that objective. Therefore, the design flow for the improved/re-aligned Tavistock Drain 1985 at the 2825085 Ontario Inc. development (node 781 to 783) is considered to be 2.88 m³/s.

<u>Criteria for Reduction to Design Flow</u>

The reduction to the design flow for the relocated Tavistock Drain 1985 will be the lesser of two separate flow calculations:

 The actual capacity of the portion of existing 900mm dia. Tavistock Drain 1985 through private land between the proposed PeopleCare Centres Inc. site and Hope Street West. This section of pipe is unlikely to be replaced in the near future and the relocated downstream drain must convey maximum pipe flows coming from Hope Street West.

> Capacity of Existing 900mm dia. pipe = 1.857m³/s Capacity of the Recommended 975mm dia. pipe = 2.3m³/s Difference (reduction) = 0.443m³/s

The difference between the 10-year existing and the 10-year post development flows in the Ponds Subdivision, as shown in the Mansoura Developments Storm Management Design Report.



Stormwater Management Design Report for Mansoura Developments Inc.

The Mansoura Development Lands (later referred to as the Ponds Subdivision) are located within the Tavistock Drain 1985 watershed, north of Hope Street West and west of Centennial Drive. Two (2) stormwater management ponds and one (1) subsurface storage system were constructed within the subdivision. The report stated that one of the objectives was to "provide quantity control to attenuate post-development stormwater runoff to the 2-year pre-development flow rate for a full range of design storm events" (2-100-year). Table 2 below summarizes the flow rates for the 2-year and 10-year storm events for the existing condition catchments upstream and within the subdivision (note: whether flow is directed down Centennial Drive or William Street, all flow eventually contributes to the Tavistock Drain 1985 downstream). The table further summarizes the allowable discharge rates and runoff volumes from the site, as shown in the SWM Report. Exhibit 3 contains Figure No. 2 from the SWM report, depicting the "Existing Conditions Drainage Areas Plan" correlating to the summaries below.

For this analysis, it is observed that the existing flow rate during the 10-year storm from the site and upstream external lands is 2.444 m³/s.

Table 2: Existing Condition Flow Rates and Runoff Volumes

				CAT	CHMENT	S				
	10	20	21	11	22	Total to Centennial Drive	30	40	Total to William Street	Total from Site
2-Year										
Flow Rate (m ³ /s)	0.425	0.116	0.014	0.003	0.069	0.627	0.053	0.032	0.085	0.712
10-Year										
Flow Rate (m ³ /s)	1.511	0.382	0.046	0.011	0.218	2.168	0.173	0.103	0.276	2.444
Allowable Flow Rates for a 10-year storm Event										
Flow Rate (m ³ /s)	1.511	0.116	0.014	0.011	0.069	1.721	0.173	0.032	0.205	1.926

*Red text indicates values used to determine "Allowable Flow Rates". If 2-year is selected, then it is a catchment within the site. Otherwise, catchment is external (10, 11, & 30).

Exhibit 4 contains Figure No. 3 from the SWM report and depicts the "Post-Development Drainage Areas Plan". Table 3 below summarizes a table in the SWM report outlining the post-development flows for each specific area discharging to Centennial Drive/William Street and leaving the site.

It is considered that after the construction of the subdivision and stormwater retention areas, the flow rate eventually discharging to the Tavistock Drain 1985 is 1.555 m³/s.

Table 3: Post Development Flow Rates

	CATCHMENTS											
	100 & 201 (SWM 1)	101, 202 & 204 (SWM2)	203A	203B	205	Total to Centennial Drive	300 (minor) 400 & 500	300 (major)	Total to William Street	Total from Site		
10-Year												
Flow Rate (m³/s)	0.467	0.563	0.046	0.051	0.243	1.37	0.065	0.120	0.185	1.555		



Taking the results presented in the SWM report, the improvement of flow to the Tavistock Drain 1985, because of this subdivision is suggested to have been the difference between the existing conditions 10-year flow and the post-development 10-year flow from the site.

Improvement = $2.444 \text{ m}^3/\text{s} - 1.555 \text{ m}^3/\text{s} = 0.889 \text{ m}^3/\text{s}$

Conclusion

The lesser of the two flow reductions calculations is the 0.442 m³/s, as determined by the difference of flows in the existing to recommended pipe sizes on the private property between Hope Street West and the PeopleCare Centres Inc. development. In a given storm event, this is the capacity required downstream to convey upstream flows from Hope Street West, regardless of the total reduction of flow provided by the constructed SWM facilities of the Ponds Subdivision.

Flow Reduction from TMSSDP = 0.442 m³/s

The flow reduction stated above has been applied to the flow capacities of each recommended pipe from the TMSSDP shown earlier in Table 1. Table 4 below outlines new proposed sizes, also taking into account the revised grades of the re-aligned drain around the new developments.

Table 4: Proposed Pipe Sizes after Applying Flow Reduction

Г	Node 521x to 780 (St			D ()	()	- (D	A (2)	B ()	D()	0 (2(-)	
	Description	Slope	n	D (m)	y (m)	Θ (rad)	A (m2)	P (m)	R (m)	Q (m3/s)	V (m/
	Existing	0.0091	0.013	0.900	0.850	5.33	0.62	2.40	0.25937154	1.857	2.984
	Recomm. (TMSSDP)	0.0091	0.013	0.975	0.920	5.32	0.73	2.60	0.2812343	2.299	3.15
								Reduction fro	om TMSSDP	-0.442	
								Requi	red Capacity	1.857	
	Proposed	0.0075	0.013	0.975	0.915	5.28	0.73	2.57	0.282661	2.088	2.86
. [
	Node 780 to 781 (Sta										
	Description	Slope	n	D (m)	y (m)	Θ (rad)	A (m2)	P (m)	R (m)	Q (m3/s)	V (m
٠	Existing	0.0091	0.013	0.900	0.850	5.33	0.62	2.40	0.25937154	1.857	2.98
	Recomm. (TMSSDP)	0.0091	0.013	0.975	0.920	5.32	0.73	2.60	0.28123435	2.299	3.15
								Reduction fro	om TMSSDP	-0.442	
									red Capacity	1.857	
	Proposed	0.0075	0.013	0.975	0.915	5.28	0.73	2.57	0.282661	2.088	2.86
	Node 781 to 782 (Sta	. 775 to 595)									
	Description	Slope	n	D (m)	y (m)	O (rad)	A (m2)	P (m)	R (m)	Q (m3/s)	V (m
	Existing	0.0091	0.013	0.900	0.850	5.33	0.62	2.40	0.25937154	1.857	2.98
	Recomm. (TMSSDP)	0.0091	0.013	1.200	1.130	5.31	1.10	3.18	0.34680878	4.000	3.62
					Design	Flow = Rec	ommended	Pipe from Node	e 782 to 783	2.878	
								Reduction fro	om TMSSDP	-0.442	
								Requi	red Capacity	2.436	
[Proposed	0.0075	0.013	1.050	0.990	5.32	0.85	2.79	0.303094	2.543	3.00
_	Node 782 to 783 (Sta			5.4.1						0 / 0/ 1	
-	Description	Slope	n	D (m)	y (m)	Θ (rad)	A (m2)	P (m)	R (m)	Q (m3/s)	V (m
	Existing	0.0096	0.013	0.900	0.840	5.24	0.62	2.36	0.26214119	1.908	3.08
	Recomm. (TMSSDP)	0.0096	0.013	1.050	0.990	5.32	0.85	2.79	0.30309447	2.878	3.40
								Reduction fro		-0.442	
	_								red Capacity	2.436	
	Proposed	0.0075	0.013	1.050	0.990	5.32	0.85	2.79	0.303094	2.543	3.00



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This technical memorandum has been respectfully prepared by the undersigned.

Curtis MacIntyre, P. Eng.

K. SMART ASSOCIATES LTD.



EXHIBIT 1: Map of Minor Storm System (TMSSDP) [1] П Д



EXHIBIT 2: Plan and Profile of Existing Drain with Node Labels

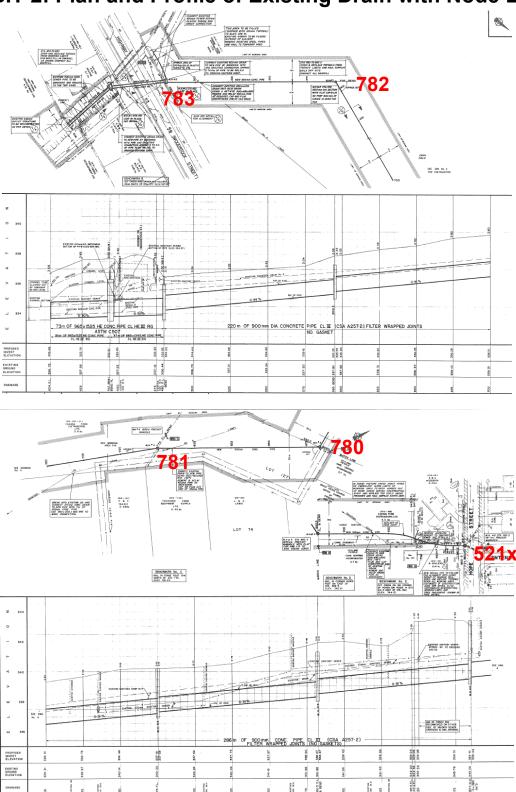




EXHIBIT 3: Existing Conditions Plan (Mansoura Dev.) [2]

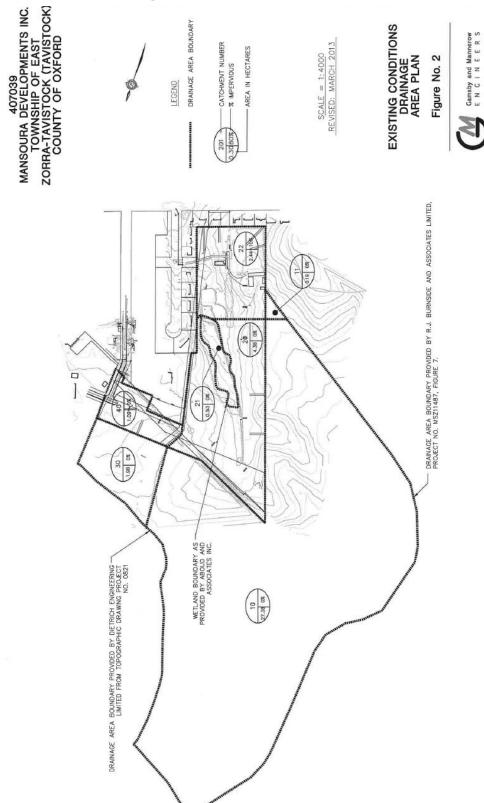
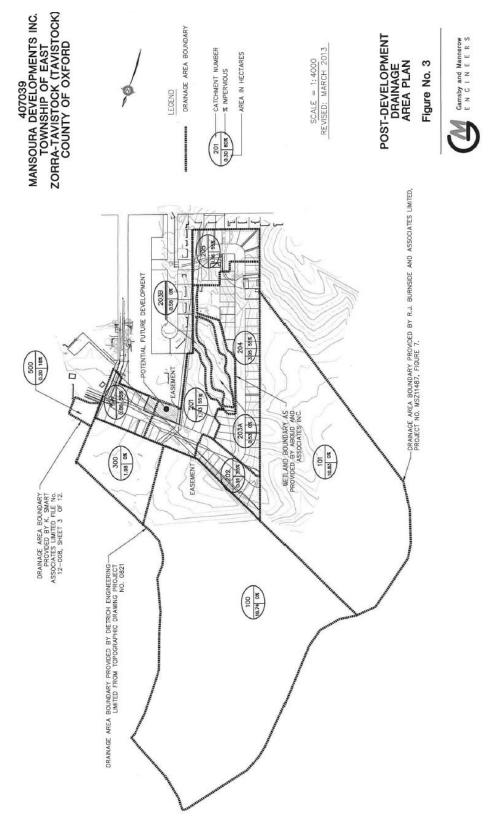




EXHIBIT 4: Post-Development Plan (Mansoura Dev.) [2]





References

- [1] Jackie Gravel, P.Eng., "Tavistock Master Storm System Drainage Plan", R. J. Burnside & Associates Limited, Township of East Zorra-Tavistock, July 2007.
- [2] Angela Kroetsch, P. Eng., "Stormwater Management Design Report, Mansoura Developments Inc.", Gamsby and Mannerow Limited, Township of East Zorra-Tavistock, March 2013.



400 STANDARD SPECIFICATIONS FOR CONSTRUCTION OF DRAINS

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400 STANDARD SPECIFICATIONS FOR CONSTRUCTION OF DRAINS

400.1 ABBREVIATIONS

- i) MTO means the Ministry of Transportation of Ontario.
- ii) ASTM means the American Society for Testing Materials.
- iii) CSA means the Canadian Standard Association.
- iv) OPSD means Ontario Provincial Standard Drawings
- v) OPSS means Ontario Provincial Standard Specifications
- vi) DFO means Fisheries and Oceans Canada
- vii) MNRF means Ministry of Natural Resources and Forestry
- viii) MECP means Ministry of Environment, Conservation and Parks

400.2 PRE CONSTRUCTION MEETING

The Contractor should arrange a pre-construction meeting with the Engineer, Municipality, affected landowners prior to commencement of construction.

If there is no pre-construction meeting or if a landowner is not present at the pre-construction meeting, the following shall apply. The drain is to be walked by the Contractor and each landowner prior to construction to ensure that both agree on the work to be done. Any difference of opinion shall be referred to the Engineer for decision. If the landowner is not contacted for such review, they are to advise the Engineer and/or Municipality.

400.3 COLD WEATHER

When working in cold weather is approved by the Engineer, the Contractor shall provide suitable means for heating, protection, and snow and ice removal. All work completed in cold weather conditions shall be to the satisfaction of the Engineer and any additional cost to remedy unsatisfactory work, or protect the work shall be borne by the Contactor. All backfilling operations shall be done as soon as possible to avoid backfilling with ground containing frozen particles. The Contractor will assume all responsibility for damages to any tile drains and for settlements or bank slippages that may result from work in cold weather.

400.4 WORKING AREA

Where any part of the drain is on a road allowance, the road allowance shall be the working area. For a closed drain the working area shall be a 10 metre width on either side of the trench or any combination not exceeding 20 metres. A 10m x 10m working area shall exist around any catchbasin, junction box or access point. For an open drain the working area shall be 17 metres on the side for leveling and 3 metres on the opposite side. A 10m working area shall exist for any overflow swale or grassed waterway. If any part of the drain is close to a property line then the fence line shall be one of the limits of the work area. Reduced or increased working areas will be described in detail on the Drawings.

400.5 ACCESS

The Contractor shall have access to the drain by entering the working area directly from road allowances or along access routes shown on the Drawings. All specifications governing fences, livestock and crops during drain construction apply to access routes. No other access routes shall be used unless first approved by the Engineer and the affected landowner. The Contractor shall contact each landowner prior to using the designated access routes. Contractor shall make good any damages caused by using the designated access routes.

400.6 ACCESS TO PROPERTIES ADJOINING THE WORK

The Contractor shall provide at all times and at no additional cost, adequate pedestrian access to private homes and commercial establishments unless otherwise authorized by the Engineer. Where interruptions to access have been authorized by the Engineer, reasonable notice shall be given by the Contractor to the affected landowners and such interruptions shall be arranged to minimize interference to those affected.

400.7 DRAINAGE SUPERINTENDENT

Where a Drainage Superintendent (Superintendent) is appointed by the Municipality, the Engineer may designate the Superintendent to act as the Engineer's representative. If so designated, the Superintendent will have the power to inspect and direct the execution of the work.

Any instructions given by the Superintendent which change the proposed work or with which the Contractor does not agree shall be referred to the Engineer for final decision.

400.8 ALTERATIONS TO WORK

The Engineer shall have the power to make alterations, additions and/or deletions in the work as shown or described in the Drawings or Specifications and the Contractor shall proceed to implement such changes without delay. Alterations ordered by the Engineer shall in no way render the contract void.

If a landowner desires deviations from the work described on the Drawings, the landowner shall submit a written request to the Engineer, at least 48 hours in advance of the work in question.

In every such case, the contract amount shall be increased or decreased as required according to a fair evaluation of the work completed. Where such changes involve additional work similar to items in the contract, the price for additional work shall be determined after consideration is given to the tendered price for similar items.

In no case shall the Contractor commence work considered to be extra work without the Engineer's approval. Payment for extra work is contingent on receipt of documentation to the satisfaction of the Engineer. Refer to the Extra Work Summary included in the Special Provisions.

400.9 ERRORS AND UNUSUAL CONDITIONS

The Contractor shall notify the Engineer immediately of any error or unusual conditions which may be found. Any attempt by the Contractor to correct the error without notice shall be done at the Contractor's risk. Any additional cost incurred by the Contractor to remedy an error or unusual condition without notice shall be borne by the Contractor. The Engineer shall direct the alteration necessary to correct errors or unusual conditions. The contract amount shall be adjusted in accordance with a fair evaluation of documentation for the work added, deleted or adjusted.

400.10 TESTS

The Engineer reserves the right to subject any materials to a competent testing laboratory for compliance with the standard. If any materials supplied by the Contractor are determined to be inadequate to meet the applicable standards, the Contractor shall bear full responsibility to remove and/or replace all such inadequate materials with materials capable of meeting the standards.

The cost of testing the materials supplied by the Contractor shall be borne by the Contractor.

400.11 BENCHMARKS AND STAKES

Prior to construction, the Engineer will confirm the benchmarks. The Contractor shall be held liable for the cost of replacing any benchmarks destroyed during construction.

If the Engineer provides layout stakes, the Contractor shall be held liable for the cost of replacing any layout stakes destroyed during construction.

Where property bars are shown on the Drawings, they are to be protected and if damaged by the Contractor, they will be reinstated by an Ontario Land Surveyor at the expense of the Contractor. Where property bars not shown on the Drawings are damaged, they will be reinstated by an Ontario Land Surveyor at the expense of the project.

400.12 OPENING UP OF FINISHED WORK

If ordered by the Engineer, the Contractor shall make such openings in the work as are needed to reexamine the work, and shall forthwith make the work good again. Should the Engineer find the work so opened up to be faulty in any respect, the whole of the expense of opening, inspecting and making the work good shall be borne by the Contractor. Should the Engineer find the work opened up to be in an acceptable condition the Contractor shall be paid for the expense of opening and making the work good, unless the Contractor has been obligated by any specification or by the direction of the Engineer to the leave the work open for the Engineer's inspection.

400.13 FINAL INSPECTION

Final inspection by the Engineer will be made within twenty (20) days after receiving notice in writing from the Contractor that work is complete, or as soon thereafter as weather conditions permit. All the work included in the contract must at the time of final inspection have the full dimensions and cross-sections.

Prior to commencing the final inspection an on-site meeting may be held by the Engineer and landowners directly affected by the construction of the drain. The Contractor will attend this meeting upon notice by the Engineer.

If there is no on-site meeting with the Engineer and landowners, the Contractor shall obtain from each landowner a written statement indicating that the work has been performed to the owner's satisfaction. If the Contractor is unable to obtain a written statement from the landowner, the Engineer will determine if further work is required prior to issuing the Completion Certificate.

400.14 WARRANTY

There shall be a one-year warranty period on all completed work. The warranty period will commence on the date of the Completion Certificate.

When directed by the Engineer, the Contractor shall repair and make good any deficiencies in the work that may appear during the warranty period.

Before the work shall be finally accepted by the Municipality, the Contractor shall complete all work as directed by the Engineer and remove all debris and surplus materials and leave the work neat and presentable.

400.15 MATERIALS

400.15.1 Concrete Drain Tile

Concrete drain tile shall conform to the requirements of the most recent ASTM C412 specifications for heavy duty extra quality, unless a stronger concrete tile is required by the Special Provisions or Drawings. All tile furnished shall be subject to the approval of the Engineer.

The minimum nominal lengths of the tile shall be 750mm for 150 to 350mm diameter tile and 1200mm for 400 to 900mm diameter tile.

All tile should be of good quality, free from distortions and cracks and shall meet the standards specified. The ends should be smooth and free from cracks or checks. All rejected tile are to be immediately removed from the site.

Granular backfill, where required, shall consist of approved sand or gravel having no particles retained on a screen having 50mm square openings.

Earth backfill shall consist of approved material having no large lumps or boulders.

400.15.2 Corrugated Plastic Tubing

Corrugated plastic tubing shall conform to the *Land Improvement Contractors of Ontario Standard Specification for Corrugated Plastic Drainage Tubing, 2006.* Type of material (solid or perforated) and need for filter sock will be specified on the Drawings or in the description of the work in the Special Provisions. Filter sock where specified shall be a standard synthetic filter material as provided by a recognized plastic tubing manufacturer unless noted differently on the contract drawings or elsewhere in the contract document. Protect coils of plastic tubing from damage and deformation.

400.15.3 Corrugated Steel Pipe

Corrugated Steel Pipe (CSP) shall be according to OPSS 1801 (CSA G401). Unless stated otherwise in the Special Provisions the pipe shall be:

- galvanized
- helical corrugation with lock seam and re-rolled annular ends
- 68mm x 13mm corrugation profile for diameters up to 1200mm
- 125mm x 25mm corrugation profile for diameters 1200mm and larger
- minimum wall thickness of 1.6mm for diameters up to 500mm
- minimum wall thickness of 2.0mm for diameters 600mm and larger
- joined using standard couplers matching the pipe diameter and material

Other coatings that may be specified include aluminized Type 2 or polymer. Polymer coating shall be a 254mm polymer film laminated to both sides of the pipe.

400.15.4 Plastic Pipe

Plastic Pipe shall be a high density polyethylene (HDPE) double wall corrugated pipe with smooth inner wall, solid with no perforations in accordance with OPSS 1840.

A minimum stiffness of 320 KPa at 5% deflection

The pipe shall be joined with snap-on or split couplers.

400.15.5 Concrete Sewer Pipe

Concrete sewer pipe shall be in accordance with OPSS 1820.

Non-reinforced concrete sewer pipe shall be used for pipe 375mm in diameter and smaller and reinforced concrete sewer pipe shall be used for pipe over 375mm.

Classes shall be as shown on the Contract Drawings or as described in the Form of Tender.

All new concrete sewer pipe shall have rubber-type gasket joints.

Where concrete sewer pipe "seconds" are specified, the pipe should exhibit no damage or cracks on the barrel section and shall be capable of satisfying the crushing strength requirements of OPSS 1820. The pipe may contain cracks or chips in the bell or spigot which prevent the use of rubber gaskets but the joints must be protected with filter cloth.

400.16 RIPRAP

All riprap is to be placed on a geotextile underlay (Terrafix 360R or equal) unless directed otherwise in the specific construction notes. The riprap is to be graded heavy angular stone (quarry stone is recommended) with particles averaging in size from 200mm to 300mm and is to be placed at 300mm thickness. Fine particles may be included to fill voids. Along upstream edges of riprap, where surface water will enter, underlay is to extend a minimum of 300mm upstream from riprap and then be keyed down a minimum of 300mm. Wherever riprap is placed, the area is to be over-dug so that finished top of riprap is at design cross-section, at design elevation or flush with existing ground.

400.17 GEOTEXTILE

To be non-woven fabric that is rot proof, non-biodegradable, chemically resistant to acidic or alkaline soils and is dimensionally stable under different hydraulic conditions. The filter fabric is to be a material whose primary function is to act as a highly permeable, non-clogging soil separator for fine soils (Terrafix 360R or equal). Contractor is to follow the manufacturer's recommendations for cutting, installation and precautions necessary to avoid damage to fabric. Other approved equals will be considered by the Engineer prior to construction.

400.18 DISPOSAL OF MATERIALS

The Contractor shall remove all surplus materials from the job site at the end of the project. The Contractor shall locate the disposal site for all materials to be disposed of. Disposal of materials shall comply with applicable regulations.

400.19 NOTIFICATION OF RAILROADS, ROAD AUTHORITIES AND UTILITIES

Contractor will notify any Railroad, Road Authority or Utility at least 48 hours in advance regarding work to be performed on their property or affecting their infrastructure. The notice will be in writing and is exclusive of Saturdays, Sundays and Holidays.

A utility includes any entity supplying the general public with necessaries or conveniences.

400,20 WORKING IN ROAD ALLOWANCES

400.20.1 General

Work within public road allowances shall be done in accordance with the Ontario Traffic Manual Book 7, latest edition.

400.20.2 Road Crossings

If no specific detail is provided for road crossings on the drawings or in the specifications the following shall apply:

- A Road Authority will supply no labour, equipment or materials for the construction of the road crossing.
- Contractor will not commence road crossing work until any required permits have been obtained. The Engineer may apply for any required permits prior to construction.
- Contractor will notify the Road Authority at least 72 hours in advance of any construction in the road allowance.
- Road crossings may be made with an open cut unless otherwise noted.
- Exact location of crossing shall be verified with the Road Authority and the Engineer.
- Pipe shall be placed on a minimum 150mm depth of Granular A shaped for the pipe.
- Pipe backfill shall be compacted Granular A and extend 300mm above the top of the pipe.
- Trench shall be backfilled with acceptable native material for the base width of the road bed.
- The material shall be placed in lifts not exceeding 300mm in depth and shall be thoroughly compacted with an approved mechanical vibrating compactor.
- Top 600mm of the road bed backfill shall consist of 450mm Granular B and 150mm of Granular A placed in lifts and fully compacted.
- Any surplus excavated material within the road allowance may be spread on the right-of-way with consent of the Road Superintendent otherwise the surplus material shall be hauled away.
- Existing asphalt or concrete pavement or surface treatment shall be replaced by the Contractor to the satisfaction of the Engineer and Road Authority.
- Contractor shall be responsible for correcting any backfill settlement during construction and during the warranty period. Upon approval of the road authority, surplus gravel shall be stockpiled near gravel road crossings to provide backfill for future trench settlement.
- All road crossings shall meet the approval of the Road Authority.
- If any road crossing is not left in a safe manner at the end of the working day barricades and warning signs shall be erected to guarantee the safety of the travelling public.
- If the Engineer deems a road to surface to have been damaged by the construction of a drain, either across or along the road, the Engineer may direct the Contractor to restore the road surface to existing or better condition at no additional cost.

400.20.3 Maintenance of Traffic

Unless directed otherwise on the drawings or in the specifications the Contractor shall keep the road open to traffic at all times. The Contractor shall provide suitable warning signs and/or flagging to the satisfaction of the Road Authority to notify of the construction work.

If a detour is required, the Contractor shall submit a proposal as to the details of the detour for approval by the Road Authority. If necessary to close the road to through traffic, the Contractor shall provide for and adequately sign the detour route. Contractor shall undertake all notifications required for a road closure in consultation with the Municipality.

400.21 LOCATIONS OF EXISTING UTILITIES

The position of pole lines, conduits, watermains, sewers and other underground and overhead utilities are not necessarily shown on the Contract Drawings, and, where shown, the accuracy of the position of such utilities and structures is not guaranteed. Before starting work, the Contractor shall have all utilities located in accordance with the Ontario Underground Infrastructure Notification System Act.

All utilities shall be exposed to the satisfaction of the utility company to verify that the construction proposed will not conflict with the utility structure. Additional payment will be allowed for relocation of utilities if conflicts should occur.

The Contractor is responsible for protecting all located and exposed utilities from damage during construction. The Contractor shall assume liability for damage caused to all properly located utilities.

400.22 LANEWAYS

If no specific detail is provided for laneway crossings on the Drawings or in the Specifications the following shall apply:

- Pipe backfill shall be acceptable native material that can be compacted in place.
- Top 450mm of laneway backfill shall consist of 300mm Granular B and 150mm of Granular A placed in lifts and fully compacted.
- Minimum cover on laneway culverts shall be 300mm.
- Existing asphalt or concrete pavement or surface treatment shall be replaced by the Contractor.
- The width of surface restoration shall match the existing laneway.
- Contractor shall be responsible for correcting any backfill settlement during construction and during the warranty period.

The timing of laneway closures will be coordinated by the Contractor to the satisfaction of the landowner.

400.23 EXISTING CROSSING CLEANOUT

Where the Special Provisions require an existing crossing to be cleaned, the Contractor shall provide a bottom width and depth that provides capacity equivalent to the capacity of the channel on either side. Excavated materials shall be hauled away unless adjacent landowners give permission for leveling. Care shall be taken to ensure that existing abutments or any portion of the structure are not damaged or undercut. The method of removing the material is to be pre-approved by the Engineer.

400.24 FENCES

If the Contractor is responsible to remove and install fences, the following shall apply:

- All fences removed by a Contractor are to be re-erected in as good a condition as existing materials permit.
- All fences shall be properly stretched and fastened. Where directed by the Engineer, additional steel posts shall be placed to adequately support a fence upon re-erection.
- Where practical and where required by the landowner, the Contractor shall take down an existing fence at the nearest anchor post and roll the fence back rather than cutting the fence and attempting to patch it.
- Where fence materials are in such poor condition that re-erection is not possible, the Contractor shall replace the fence using equivalent materials. Such fence material shall be approved by the Engineer and the landowner. Where the Engineer approves new fence material, additional payment will be provided.

Any fences paralleling an open drain, that are not line fences, that hinder the proper working of the excavating machinery for drain construction or maintenance shall be removed and rebuilt by the landowner at their own expense. If such parallel fences are line fences they shall be removed and reinstalled by the Contractor.

No excavated or cleared material shall be placed against fences.

The installation of all fences shall be done to the satisfaction of the Engineer and the landowner.

400.25 LIVESTOCK

If any construction will be within a fenced field containing livestock that are evident or have been made known to the Contractor, the Contractor shall notify the owner of the livestock 48 hours in advance of access into the field. Thereafter, the owner shall be responsible for the protection of the livestock in the field during construction and shall also be liable for any damage to or by the livestock.

Where the owner so directs or where the Contractor has failed to reach the owner, the Contractor shall adequately re-erect all fences at the end of each working day. No field containing livestock shall have a trench left open at the end of the working day, unless the trench has been adequately backfilled or protected. Failure of the Contractor to comply with this paragraph shall render the Contractor liable for any damage to or by the livestock.

Where livestock may be encountered on any property the Contractor shall notify the Engineer to arrange for inspection of the work prior to backfilling.

400.26 STANDING CROPS

The Contractor shall not be held responsible for damages to standing crops within the working area for the drain. However, the Contractor shall notify the owner of the crops 48 hours prior to commencement of construction so as to allow the owner an opportunity to harvest or salvage the crop within the drain working area. If this advance notice is not given the Contractor may be liable for the loss of the standing crops.

400.27 CLEARING VEGETATION

400.27.1 General

The area for clearing, if not defined elsewhere, shall be 15m on each side of the drain.

400.27.2 Trees to Remain

Where it is feasible to work around existing trees that do not impede the function of the drainage works, the Contractor shall not remove any deciduous tree larger than 300mm and any coniferous tree larger than 200mm, unless authorized by the Engineer.

400.27.3 Incidental Clearing

Incidental clearing includes removal of trees, brush or other vegetation with an excavator during construction activities, and the cost is to be included in the price for the related construction activity.

400.27.4 Power Brushing

Power brushing includes removal of above-ground vegetation with a rotary brush cutter or other mechanical means. Stump and root removal is not required. Power brushed vegetation in a channel cross-section shall be removed and leveled in the working area. Excavated material may be placed and leveled on power brushed vegetation.

400.27.5 Close-Cut Clearing

Close-cut clearing includes removal of above-ground vegetation cut flush with the ground. Stump and root removal is not required.

400.27.6 Clearing And Grubbing

Clearing and grubbing includes removal of vegetation, including stumps and roots. Removal of earth from the grubbed area into the windrows or piles is to be minimized.

400.27.7 Disposal of Cleared Vegetation

400.27.7.1 <u>In Bush Areas</u>

Cleared vegetation is to be pushed into windrows or piles at the edge of the cleared area. Stumps and roots are to be piled first at the edge of the cleared area, followed by other vegetation (trunks, branches, etc.). Provisions for lateral drainage are required through all windrows. Windrows are not to block any laneways or trails. After removing cleared vegetation, the working area shall be leveled to the satisfaction of the Engineer.

400.27.7.2 In Field Areas

Cleared vegetation resulting from incidental clearing or power brushing may be hauled away, mulched in place or reduced to a size that permits cultivation using conventional equipment without causing undue hardship on farm machinery.

Cleared vegetation resulting from close-cut clearing or clearing and grubbing is to be hauled away to an approved location. Disposal sites may be in bush areas or other approved locations on the same farm. No excavated material shall be levelled over any logs, brush or rubbish of any kind.

400.27.8 Landowner Requested Salvage

A landowner may request that wood be separated from the windrows for the landowner's future use. This additional work would be eligible for extra payment, subject to the approval of the Engineer. The cost of the additional work would be assessed to the landowner.

400.27.9 Clearing by Landowner

Wherever the Special Provisions indicate that clearing may be undertaken by the landowner, work by the landowner shall be in accordance with the Clearing Vegetation requirements of this specification and must be completed so as not to cause delay for the Contractor. If the landowner does not complete clearing in accordance with these requirements, the Contractor will undertake the clearing at a price approved by the Engineer.

400.28 ROCK REMOVAL

400.28.1 General

Rock shall be defined as bedrock and boulders that are greater than one-half cubic metre in size and that require blasting or hoe-ram removal. Bedrock or boulders that can be removed with a standard excavator bucket are not considered rock removal.

400.28.2 Blasting Requirements

All blasting shall be performed by a competent, qualified blaster in accordance with OPSS 120. Blasting mats are required. A pre-blast survey meeting the requirements of OPSS 120 must be completed for any structure within 200m of any blasting. The cost for pre-blast survey shall be included in the tender price for rock removal.

400.28.3 Typical Sections and Pay Limits

For tile drains and road culverts, rock shall be removed to 150mm below the proposed grade shown on the profile so that pipes are not in direct contact with rock. The width of rock removal shall be 1m minimum or the diameter of the pipe plus 600mm.

For open drains, rock removal shall match the proposed grade and bottom width shown on the Drawings. Side slopes shall be vertical or sloped outward. Side slopes shall be free of loose rock when excavation is completed.

Payment for the quantity of rock removed will be based on the typical sections described in these specifications and confirmed by field measurements. There will be no payment for overbreak.

400.28.4 Disposal of Rock

Excavated rock shall be piled at the edge of the working area at locations designated by the landowner. The cost to pile excavated rock shall be included in the tender price for rock removal. If the Special Provisions or the landowner require excavated rock to be hauled away, additional payment will be considered.

Where approved by the Engineer, excavated rock may be used in place of imported riprap.

400.29 SEEDING

400.29.1 General

Contractor responsible for re-seeding as necessary for uniform catch during warranty period. Areas that remain grassed after construction may not need to be seeded unless directed otherwise by the Engineer.

400.29.2 Drainage Works and Road Allowances

All disturbed ditch banks, berms and road allowances are to be seeded at the end of the day.

The following seed mixture shall be applied at 60kg/ha using a mechanical (cyclone) spreader:

- 35% Creeping Red Fescue
- 25% Birdsfoot Trefoil
- 25% Kentucky Bluegrass
- 10% Cover Crop (Oats, Rye, Barley, Wheat)
- 5% White Clover

Provide temporary cover for late fall planting by adding an additional 10 kg/ha of rye or winter wheat.

400.29.3 Hydroseeding

Where hydroseeding is specified, disturbed areas will be restored by the uniform application of a standard roadside mix, fertilizer, mulch and water at a rate of 2,000 kg/ha and be in accordance with OPSS 804.

400.29.4 Seeding Lawns

Unless specified otherwise, lawn areas shall be seeded with Canada No. 1 lawn grass mixture applied at 300 kg/ha using a mechanical (cyclone) spreader on 100mm of topsoil. Fertilizer shall be 5:20:20 or 10:10:10 applied at 300 kg/ha. Seed and fertilizer shall be applied together. Contractor shall arrange for watering with landowners.

400.29.5 Sod

Where sod is specified, sod is to be commercial grade turfgrass nursery sod, Kentucky Bluegrass placed on 50mm of topsoil. Fertilizer shall be 5-20-20 applied at 10kg/ha. Place sod in accordance with supplier instructions. Contractor is responsible for saturating the sod with water on the day of sod placement. Subsequent watering is the responsibility of the landowner.

400.30 EROSION CONTROL BLANKETS

Erosion Control Blankets (ECB) shall be biodegradable and made of straw/coconut (Terrafix SC200, Nilex SC32 or equal) or coconut (Terrafix C200, Nilex C32 or equal) with photodegradable, double net construction. The blanket and the staples shall be supplied and installed as per OPSS 804.

Erosion control blanket shall be placed and stapled into position as per the manufacturer's installation instructions on slopes as directed by the Engineer. Blankets shall be installed in direct contact with the ground surface to form a uniform, cohesive mat over the seeded earth area. The blankets are to be single course with 150mm overlap between blankets and joints are to be staggered. The Contractor shall ensure that the ECB is anchored to the soil and that tenting of the ECB does not occur.

On slopes, when the ECB cannot be extended 1m beyond the crest of the slope, the uppermost edge of the ECB shall be anchored in a 150mm wide by 150mm deep trench. The trench shall be backfilled with earth and compacted.

400.31 SEDIMENT CONTROL

400.31.1 General

Contractor shall install sediment control features at the downstream limits of the project and at other locations as shown on the drawings or directed by the Engineer.

Sediment control features shall be installed prior to any excavation taking place upstream of that location. The Contractor shall maintain all sediment control features throughout construction and the warranty period.

Sediment that accumulates during construction shall be removed and levelled as required.

400.31.2 Flow Check Dams

400.31.2.1 <u>Temporary Straw Bale Flow Check Dam</u>

The straw bale flow check dam shall consist of a minimum of 3 bales. Each bale is to be embedded at least 150mm into the channel bottom and shall be anchored in place with 2 T-bar fence posts or 1.2m wooden stakes driven through the bale.

Straw bales shall be hauled away at the end of the warranty period. Accumulated sediments shall be excavated and levelled when the temporary straw bale flow check dam is removed.

400.31.2.2 <u>Temporary Rock Flow Check Dam</u>

The temporary rock flow check dam shall extend to the top of the banks so that dam overtopping does not cause bank erosion. Rock shall be embedded a minimum of 150mm into the ditch bottom and banks. No geotextile is required for temporary rock flow check dams.

Accumulated sediments shall be excavated and levelled when the temporary rock flow check dam is removed at the conclusion of the warranty period.

400.31.2.3 Permanent Rock Flow Check Dam

The requirements of temporary rock flow check dams shall apply except rock shall be placed on geotextile and the dam shall remain in place permanently.

400.31.3 Sediment Traps

400.31.3.1 General

The channel bottom shall be deepened in accordance with the dimensions provided in the Drawings or Special Provisions. If dimensions are not specified on the Drawings, the sediment trap shall be excavated within the channel cross-section at least 0.3m below the design grade.

The Contractor will monitor the sediment trap during construction and cleanout accumulated sediments as required to maintain the function of the sediment trap.

If specified to be temporary, no sediment trap maintenance is required after construction is complete.

If specified to be permanent, the contractor will clean out the sediment trap at the conclusion of the warranty period, unless directed otherwise by the Engineer.

400.31.3.2 Sediment Trap with Flow Check Dam

A permanent rock sediment trap shall include a permanent sediment trap and a rock flow check dam.

A temporary rock/straw sediment trap shall include a temporary sediment trap and a rock/straw flow check dam.

400.31.4 Turbidity Curtains

A turbidity curtain is required when there is permanent water level/flow and a sediment trap is not feasible.

Turbidity curtains shall be in accordance with OPSS 805 and installed per manufacturer's instructions.

Turbidity curtains shall be sized and anchored to ensure the bottom edge of the curtain is continuously in contact with the waterbody bed so that sediment passage from the enclosed area is prevented. The curtain must be free of tears and capable of passing the base flow from the drainage works. Turbidity curtain locations may be approved by the Engineer.

Turbidity curtains are to remain functional until work in the enclosed area is completed. Prior to relocating or removing turbidity curtains, accumulated sediment is to be removed from the drain and levelled.

Where a turbidity curtain remains in place for more than two weeks it shall be inspected for damage or clogging and replaced, repaired or cleaned as required.

400.31.5 Silt Fence

Silt fence shall be in accordance with OPSS 805.07.02.02 and OPSD 219.110 (light-duty).

400.32 GRASSED WATERWAYS AND OVERFLOW SWALES

Grassed waterways and overflow swales typically follow low ground along the historic flow route. The cross-section shall be saucer shaped with a nominal 1m bottom width, 8:1 side slopes and 300mm depth unless stated otherwise in the Special Provisions.

All grassed waterways are to be permanently vegetated. Grassed waterways shall be seeded with the following permanent seed mixture: 50% red fescue, 45% perennial ryegrass and 5% white clover, broadcast at 80 kg/ha. Fertilizer to be 7-7-7 applied at 80 kg/ha.

Provide temporary cover for late fall planting by adding an additional 10 kg/ha of rye or winter wheat.

Overflow swales may be cropped using conventional farming practice.

400.33 BUFFER STRIPS

Open drains shall include minimum 3m wide, permanently vegetated buffer strips on each side of the drain. Catchbasins shall include a minimum 1m radius, vegetated buffer strip around the catchbasin.

Cultivation of buffer strips using conventional farming practice may be undertaken, provided sediment transport into the drain is minimized.

400.34 MAINTENANCE CORRIDOR

The maintenance corridor along the route of the drain, as established in the report, shall be kept free of obstructions, ornamental vegetation and structures. When future maintenance is undertaken, the cost of removing such items from the corridor shall be assessed to the landowner.

400.35 POLLUTION

The Contractor shall keep their equipment in good repair. The Contractor or any landowner shall not spill or cause to flow any polluted material into the drain that is not acceptable to the MECP. The local MECP office and the Engineer shall be contacted if a polluted material enters the drain. The Contractor shall refill or repair equipment away from open water. If the Contractor causes a spill, the Contractor is responsible to clean-up the spill in accordance with MECP clean-up protocols.

400.36 SPECIES AT RISK

If a Contractor encounters a known Species At Risk designated by the MECP, MNRF or DFO, the Contractor shall notify the Engineer immediately and follow the Ministry's guidelines for work around the species.

420 <u>STANDARD SPECIFICATIONS</u>

<u>FOR</u>

TILE DRAINS

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420 STANDARD SPECIFICATIONS FOR TILE DRAINS

STANDARD SPECIFICATIONS FOR TILE DRAINS

420.1 DESCRIPTION

Work under this specification will consist of supplying, hauling, laying and backfilling subsurface drainage conduit with the conduit materials as described on the Drawings and in the location, depth and invert grade as shown on the Drawings. In this specification the word "tile" will apply to all described conduit materials. Lengths are in millimeters (mm) and meters (m).

The work shall include the supplying of all labour, tools, equipment and extra materials required for the installation of the tile; the excavation and backfilling of the trenches; the hauling, handling, placing and compaction of the excavated material for backfill, the loading, hauling, handling and disposal of surplus excavation material; the removal and replacing of topsoil and sod where required by the Engineer.

All existing laterals crossed by the new line shall be reconnected in an approved manner. Either special manufactured connections shall be used or another method of sealing connections as approved by the Engineer. The Contractor shall also construct catchbasins, junction boxes and other structures where directed by the Engineer.

Except where complete removal of an existing pipe is required by new construction, existing pipes to be abandoned shall be sealed with a concrete or mortar plug with a minimum length of 300mm to the satisfaction of the Engineer.

Sections 6 and 7 of the current version of the *Drainage Guide for Ontario*, OMAFRA Publication 29 shall provide a general guide to all methods and materials to be used in the construction of tile drains except where superseded by this Contract.

The licensing requirements of the *Agricultural Tile Drainage Installation Act, 1990* will not be applicable to this Contract unless specified otherwise by this Contract.

420.2 MATERIALS

Refer to Section 400, Standard Specifications for Drain Construction for any materials required for tile drain construction.

420.3 CONSTRUCTION

420.3.1 Outlet

A tile drain outlet into a ditch or creek shall be protected using a 6m length of rigid pipe with a hinged grate for rodent protection. Maximum spacing between bars on the rodent grate shall be 50mm. Material for rigid pipe will be specified in the Special Provisions, plastic pipe is preferred. The joint between the rigid pipe and the tile drain shall be wrapped with filter fabric. All outlets will be protected with rock riprap to protect the bank cut and as a splash apron. In some locations riprap may also be required on the bank opposite the outlet. The quantity of riprap required will be specified in the Special Provisions. A marker stake as approved by the Engineer shall be placed at each tile outlet.

420.3.2 Line

The Engineer will designate the general location of the new drain. A landowner may indicate a revised location for the drain which must be approved by the Engineer. Where a change in alignment is required that is not accommodated in a catchbasin, junction box or similar structure the alignment change shall run on a curve with a radius not less than the minimum installation radius specified for the tile material.

The Contractor shall exercise care to not disturb any existing tile drains which parallel the course of the new drain, particularly where the new and existing tile act together to provide the necessary capacity. Where an existing tile is disturbed or damaged the Contractor shall perform the necessary correction or repair with no additional compensation.

NOTE: It is the Contractor's responsibility to ascertain the location of, and to contact the owners of all utility lines, pipes and cables in the vicinity of drain excavations. The Contractor shall be completely responsible for all damages incurred.

420.3.3 Grade Control

Tile is to be installed to the elevation and grade shown on the profiles. Accurate grade control must be maintained by the Contractor at all times during tile installation. The tile invert elevation should be checked every 50m and compared to the elevation on the profile.

Benchmarks are identified on the Contract Drawings. The Engineer will confirm all benchmark elevations prior to construction.

420.3.4 Variation from Design Grade

No reverse grade will be allowed. A small variation in grade can be tolerated where the actual capacity of the drain exceeds the required capacity. The constructed grade should be such that the drain will provide the capacity required for the drainage area. Constructed grade should not deviate from design grade by more than 10% of the internal diameter for more than 25m. Grade corrections shall be made gradually over a distance not less than 10m.

420.3.5 Installation

At each work stoppage, the exposed end of the tile shall be covered by a tight fitting board or metal plate. No installed tile shall be left exposed overnight. Any tile damaged or plugged during construction shall be replaced or repaired at the Contractor's expense.

Topsoil over the trench shall be stripped, stockpiled separately and replaced after the trench is backfilled. Where installation is across a residential lawn, existing sod over the trench shall be cut, lifted and replaced in a workmanlike manner or new sod laid to match pre-construction conditions.

420.3.5.1 Installation of Concrete Tile

Concrete tile shall be installed by a wheel trencher unless an alternate method of construction is noted on the Drawings.

Digging of the trench shall start at the outlet end and proceed upstream. The location and grade shall be as shown on Drawings but shall be liable to adjustment or change by the Engineer on site with no additional payment allowed except where the change involves increased depth of cut beyond the limitation of the wheel trencher in use at the time of the change. The trench width measured at the top of the tile should be at least 150mm greater than the tile diameter.

The bottom of the trench is to be cut accurately to grade and shaped so that the tile will be embedded in undisturbed soil or in a compacted bed at least for 10% of its overall height. Where hard shale, boulders or other unsuitable bedding material is encountered, the trench shall be excavated to 75mm below grade and backfilled with granular material compacted to a shaped, firm foundation. If the trench is overcut below the proposed grade, it is to be backfilled with granular material to the correct grade and compacted to a shaped, firm foundation.

Where the depth for the tile installation exceeds the depth capacity of the wheel trencher the Contractor shall excavate a trench of sufficient depth so that the wheel trencher can install the tile at the correct depth

and grade. The tender price shall include the cost of the additional excavation and backfilling and stripping and replacing topsoil over the trench.

The inside of the tile is to be kept clean during installation. All soil and debris should be removed before the next tile is laid. Maximum spacing at joints between tiles should be about 3mm. Directional changes can be made without fittings or structures provided the centre-line radius of the bend is not less than 15m radius. The tiles are to be beveled, if necessary, to ensure close joints on all bends.

All tile joints and connections with other pipe materials are to be fully and tightly wrapped with a minimum 300mm width of geotextile drain wrap. A 150mm overlap on top is required. No additional payment will be made for joint wrapping.

420.3.5.2 Installation of Corrugated Plastic Tubing

Corrugated plastic tubing shall be installed by a drainage plow or wheel trencher unless an alternate method of construction is specified on the Drawings. For other installation methods, proper bedding and backfill is required to maintain the structural integrity of the plastic tubing so that surface and earth loads do not deflect the tubing by more than 20% of its nominal diameter.

For all installation methods:

- the plastic tubing should not be stretched by more than 7% of its normal length
- protect tubing from floating off grade when installing in saturated soil conditions
- directional changes can be made without fittings provided the centre-line radius of the bend is not less than five times the tubing diameter

Drainage plow equipment should construct a smooth bottomed opening in the soil and maintain the opening until the tubing is properly installed. The size of the opening in the soil should conform closely to the outside diameter of the tubing.

420.3.5.3 Installation of Concrete Sewer Pipe or Plastic Pipe

The Contractor may install pipe using a wheel trencher. For concrete sewer pipe, the bells must be recessed.

The Contractor may install pipe using an excavator by shaping the bottom of the trench to receive and support the pipe over 10% of its diameter if the trench is backfilled with native material. Shaping the trench bottom is not required where 150mm of granular bedding is placed to the satisfaction of the engineer.

420.3.6 Backfilling

All tile should be blinded by the end of the day's work to protect and hold them in place against disturbances. After tile is inspected, it shall initially be backfilled with a minimum cover of 300mm.

For blinding and initial backfilling use clean native soil with no organic matter. Initial backfill shall be tamped around the pipe by backhoe bucket or similar if directed by the Engineer.

The tile shall be backfilled with native material such that there is a minimum cover of 600mm. In addition, a sufficient mound must be placed over the trench to ensure that no depression occurs after settling along the trench.

420.3.7 Tile Connections

All lateral drains encountered along the route of the new tile drain are to be connected to the new drain if the intercepted tile are clean and do not contain polluted water. Lateral drains that are full of sediments or contain polluted waters will be addressed by the Engineer at the time of construction. All lateral drains are to be connected to the new tile using a pipe material and size that will provide the same flow capacity as the existing lateral drain unless a different connection is described in the Special Provisions. Corrugated plastic tubing can be used for all tile connections. Tubing can be solid or perforated, filter sock is not required.

Contractor is responsible for installation and backfilling in a manner than maintains the structural integrity of the connection. Manufactured fittings should be used to ensure tight connections. Where an opening must be made in the new tile drain for a connection, the opening shall be field cut or cored. After the opening is cut in the new tile any gaps or voids around the connection shall be sealed with mortar, low-expanding spray foam or geotextile. Lateral tubing shall not protrude more than 25mm beyond the inside wall of the new tile drain. The Contractor shall ensure than any material used to seal the connection does not protrude beyond the inside wall of the new tile drain.

All connections that are described in the Special Provisions are considered to be part of the original Contract price. For all other connections the Contractor will be paid in accordance with the price established in the Schedule of Tender Prices. The Contractor must list all connections on the Lateral Connection Summary sheet, if included in the Special Provisions, in order to qualify for payment. The Lateral Connection Summary sheet describes all tile encountered based on location (station), side of trench, size and type of tile and approximate length and type of material used for the connection.

420.3.8 Stones and Rock

The Contractor shall immediately contact the Engineer if bedrock or stones of sufficient size and number are encountered such that installation by wheel trencher cannot continue. The Engineer may direct the Contractor to use some other method of excavation to install the tile. The basis of payment for such extra work shall be determined by the Engineer. Stones greater than 300mm in diameter that are removed during excavation shall be disposed of by the Contractor at an offsite location. No additional payment for excavating or hauling these stones will be provided.

420.3.9 Brush, Trees and Debris

Unless stated otherwise in the Special Provisions, the following requirements shall apply for installation of a tile drain in a wooded area. The Contractor will clear and grub a minimum corridor width of 30m centered on the tile drain alignment. The resulting debris shall be placed in a windrow along the edge of the working area. No additional payment will be made for such work.

420.3.10 Subsoil Instability

If poor subsoil conditions are encountered during tile installation by wheel trencher an attempt shall be made to install the tile with a continuous geotextile underlay in the trench bottom. The cost of the underlay, if approved by the Engineer, will be paid as an extra. If the continuous geotextile underlay is not sufficient then the tile will be installed by backhoe or excavator on a bedding of 19mm clear crushed stone (300mm depth) to achieve trench bottom stability for the new tile. If approved, the above work will be paid based on the unit price provided on the Form of Tender. The unit price shall include the cost to supply and place the stone. If more than 300mm depth of stone is required for bottom stability, additional payment will be allowed for the additional depth of stone. The additional quantity of stone shall be supported by weigh tickets and the suppliers invoice.

If poor subsoil conditions are encountered during tile installation by backhoe or excavator, the tile shall be installed on stone bedding as noted above. For this installation only the material cost of the stone will be paid as an extra. Supply of stone and cost to be supported by weigh tickets and supplier's invoice.

If the subsoil is a fine grained soil it may necessary to place the stone on a geotextile with the geotextile wrapped over the stone before laying the tile. Additional payment will be allowed to supply and install the geotextile.

420.3.11 Broken or Damaged Tile

The Contractor shall dispose of all damaged or broken tile and broken tile pieces off-site.

420.3.12 Excess Tile

All excess tile shall be removed from the job site.

420.3.13 Catchbasins

420.3.13.1 General

All catchbasins shall have minimum inside dimensions matching the dimensions shown on the Drawings. Contractor is responsible for ordering catchbasins to match the inlet and outlet connections and top elevations required by the Special Provisions and the Drawings.

420.3.13.2 Materials

Requirements in this section apply to catchbasins in non-travelled locations. Where catchbasins are proposed for travelled locations, refer to the Special Provisions and the Drawings for applicable OPSD information.

Precast concrete catchbasins shall be manufactured by as Coldstream Concrete or approved equal. Minimum wall thickness for catchbasins without reinforcement is 150mm and with reinforcement 100mm. The joints between precast catchbasin sections shall be protected with geotextile to prevent soil material from entering into the catchbasin. Joint protection using mortar or water tight barrier is also acceptable. Grates are to be birdcage grates as manufactured by Coldstream Concrete or approved equal unless specified otherwise on the Drawings. All grates to be secured with corrosion resistant hardware.

HDPE catchbasins shall be as fabricated by ADS, Armtec, Hancor or approved equal. Steel catchbasins shall be the Heavy Duty Steel Catch Basin as manufactured by AgriDrain or approved equal. PVC catchbasins shall be Nyloplast as manufactured by ADS or approved equal. HDPE, steel and PVC catchbasins shall be supplied with integral stubouts fabricated by the manufacturer and sized according to the pipe connections shown on the Drawings. Grates for HDPE, steel or PVC catchbasins shall be in accordance with the Special Provisions and manufacturer recommendations.

Marker stakes as supplied by Coldstream Concrete or equal are to be placed beside each catchbasin unless specified otherwise on the Drawings.

420.3.13.3 Installation

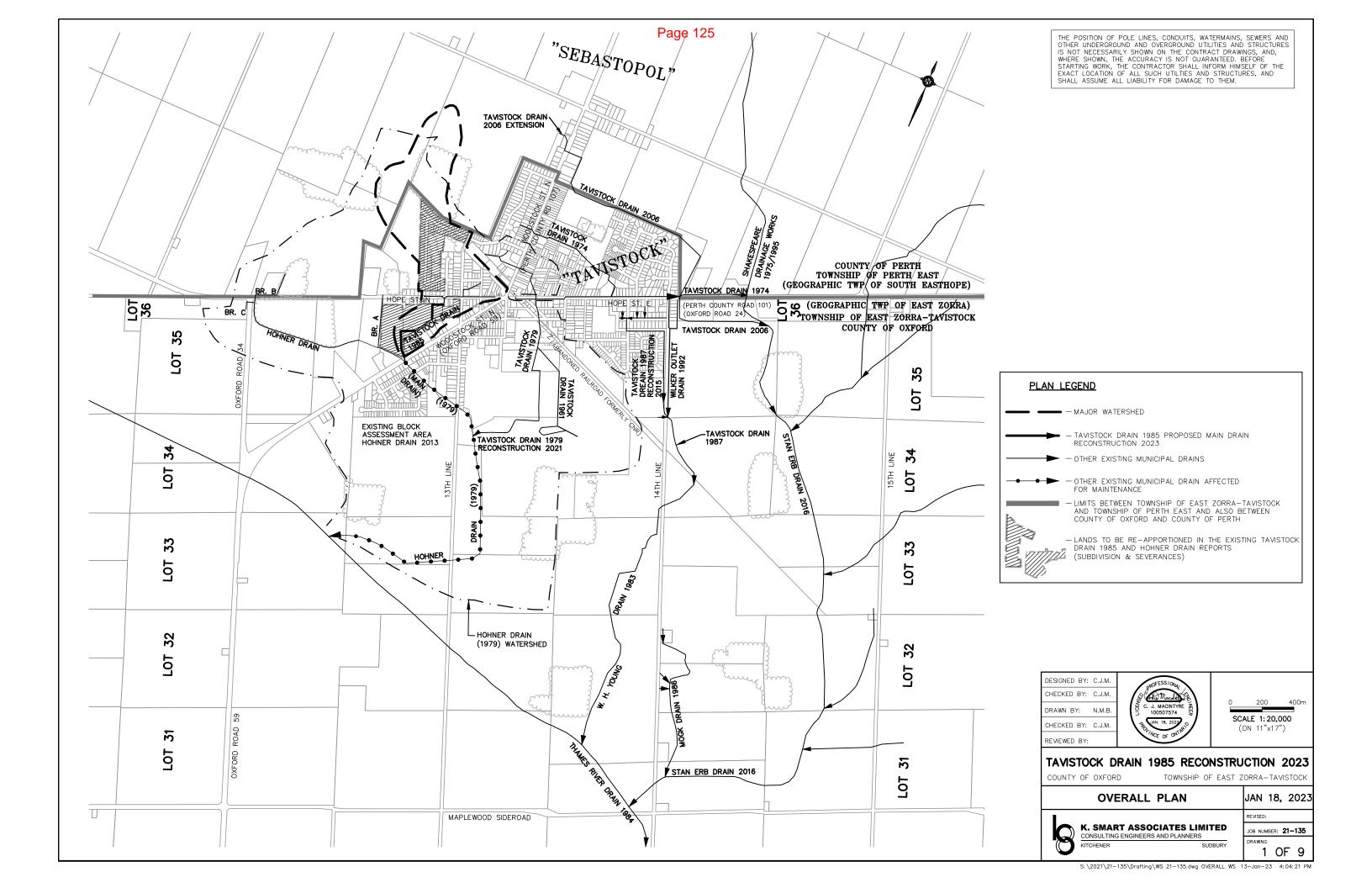
All tile or pipe connected to concrete catchbasins shall be mortared or secured in place so that no gaps remain at the connection. Mortar is to be applied on both the inside and outside wall surfaces.

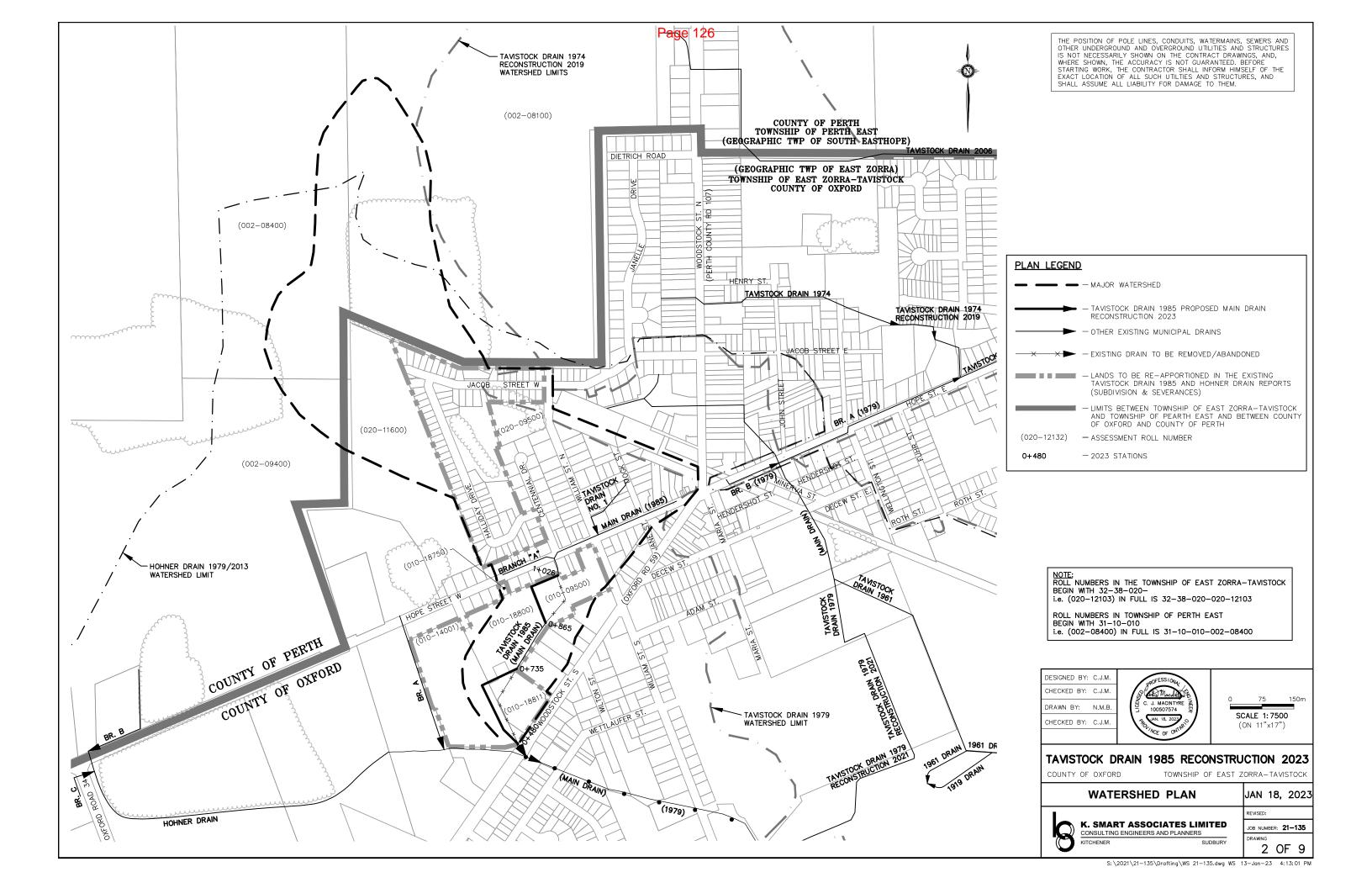
Backfill around all new catchbasins is recommended to be 19mm clear crushed stone to avoid future settlements. The Contractor shall be responsible for backfilling all settlement areas around catchbasins during the contract warranty period. No additional payment will be provided for adding backfill to settlement areas around catchbasins.

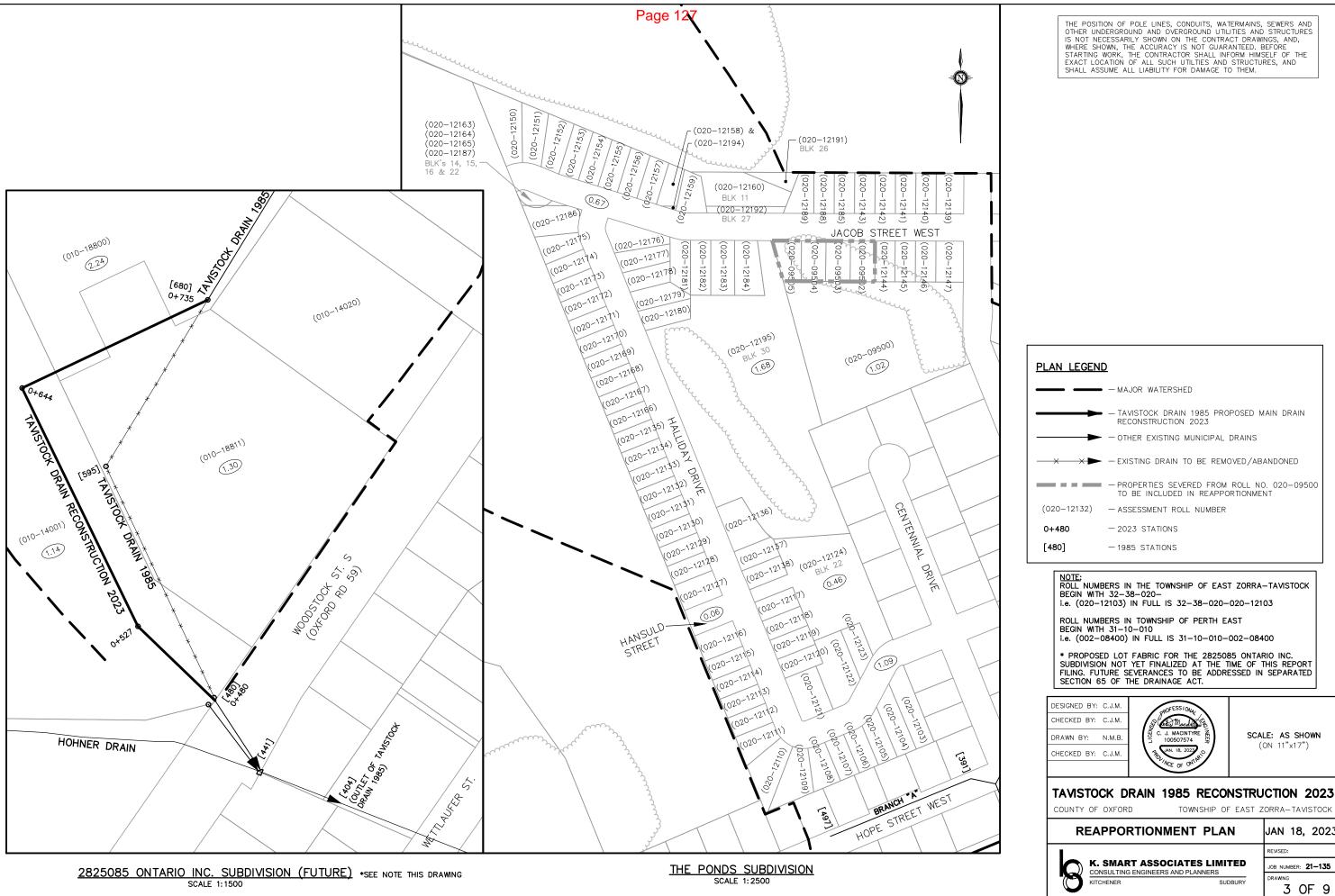
All catchbasin sumps to be fully cleaned by the Contractor after completion of drain installation and backfilling.

420.3.14 Junction Boxes

Junction boxes shall be precast concrete to the same specification as above for catchbasins except that the junction box shall have a solid lid. The lid shall be a minimum of 125mm thick with wire mesh reinforcement and 2 lifting handles. The top of the junction box should have a minimum ground cover of 450mm.







SCALE: AS SHOWN

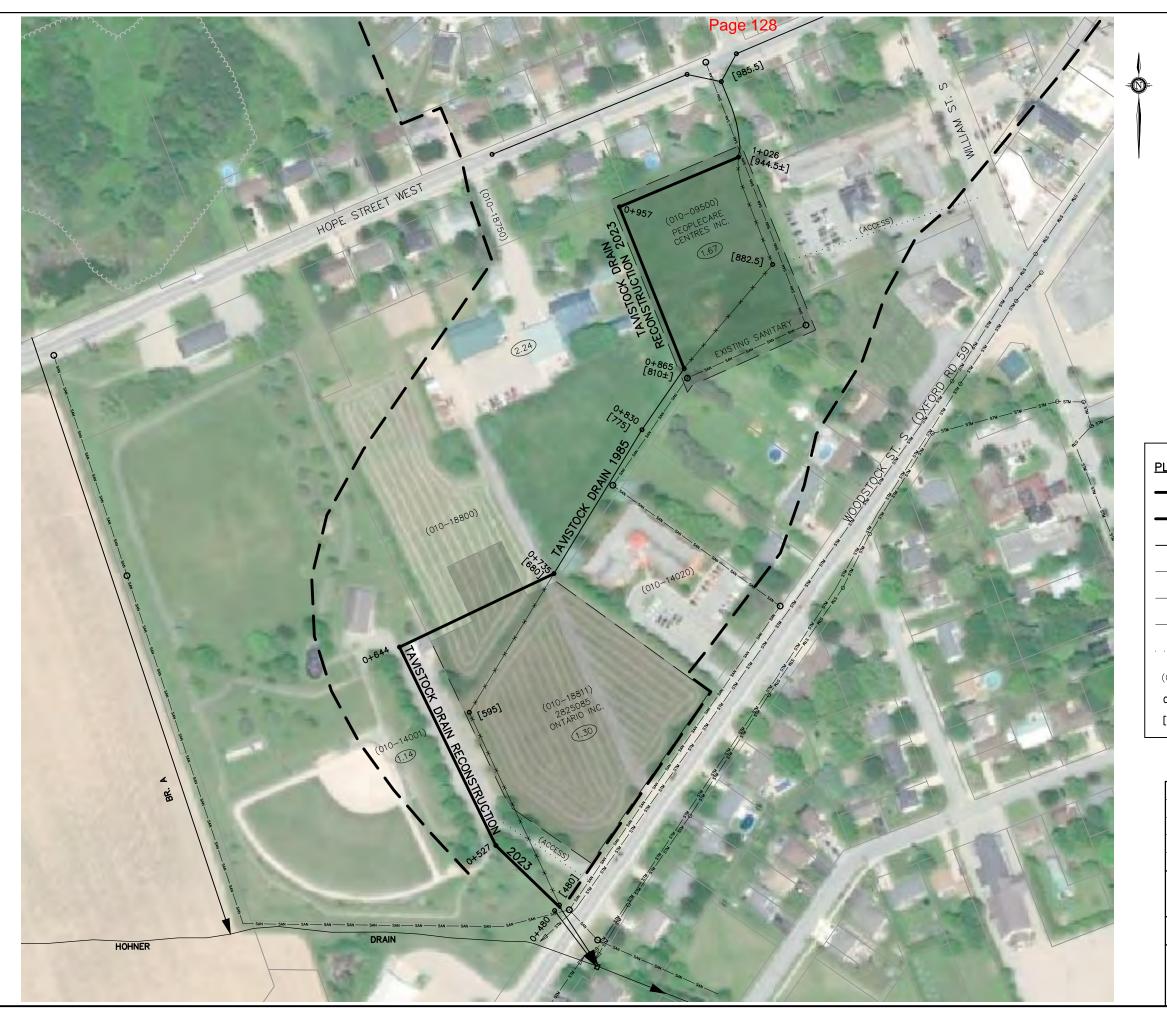
(ON 11"x17")

EVISED:

JAN 18, 2023

IOB NUMBER: 21-135

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THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWNGS, AND, WHERE SHOWN, THE ACCURACY IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.

PLAN LEGEND

TAVISTOCK DRAIN 1985 PROPOSED MAIN DRAIN RECONSTRUCTION 2023

- OTHER EXISTING MUNICIPAL DRAINS

→ X → EXISTING DRAIN TO BE REMOVED/ABANDONED

· · · (ACCESS)

(010-18750) - ASSESSMENT ROLL NUMBER

0+480 - 2023 STATIONS

[480] - 1985 STATIONS

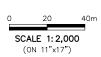
DESIGNED BY: C.J.M.

CHECKED BY: K.A.S.

DRAWN BY: N.M.B.

CHECKED BY: C.J.M.
REVIEWED BY:

ROFESSIONAL BO C. J. MACINTYRE FR 100507574 FO 100507575 FO 100507574 FO 10050757



JOB NUMBER: **21-135**

TAVISTOCK DRAIN 1985 RECONSTRUCTION 2023

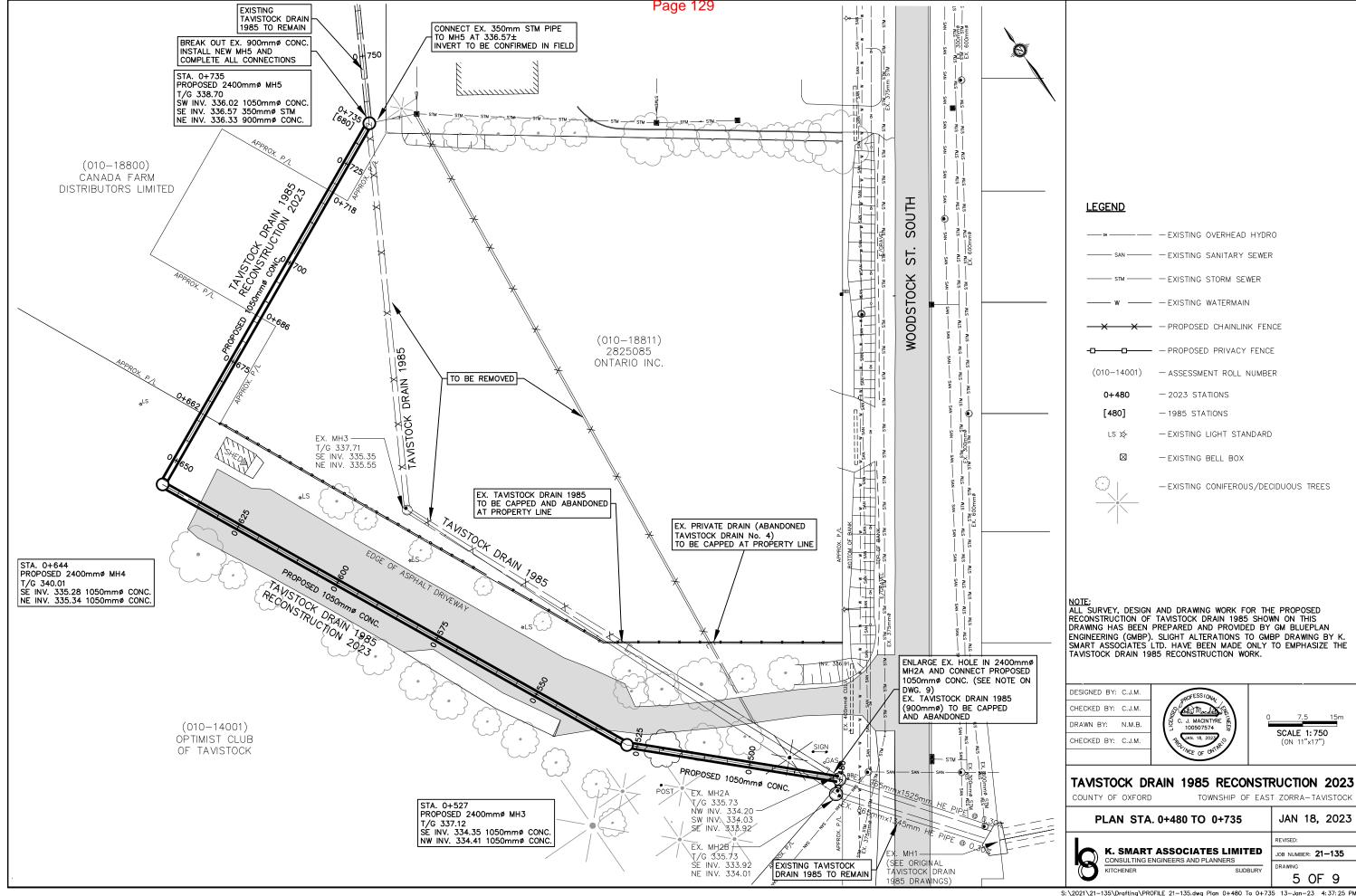
COUNTY OF OXFORD TOWNSHIP OF EAST ZORRA-TAVISTOCK

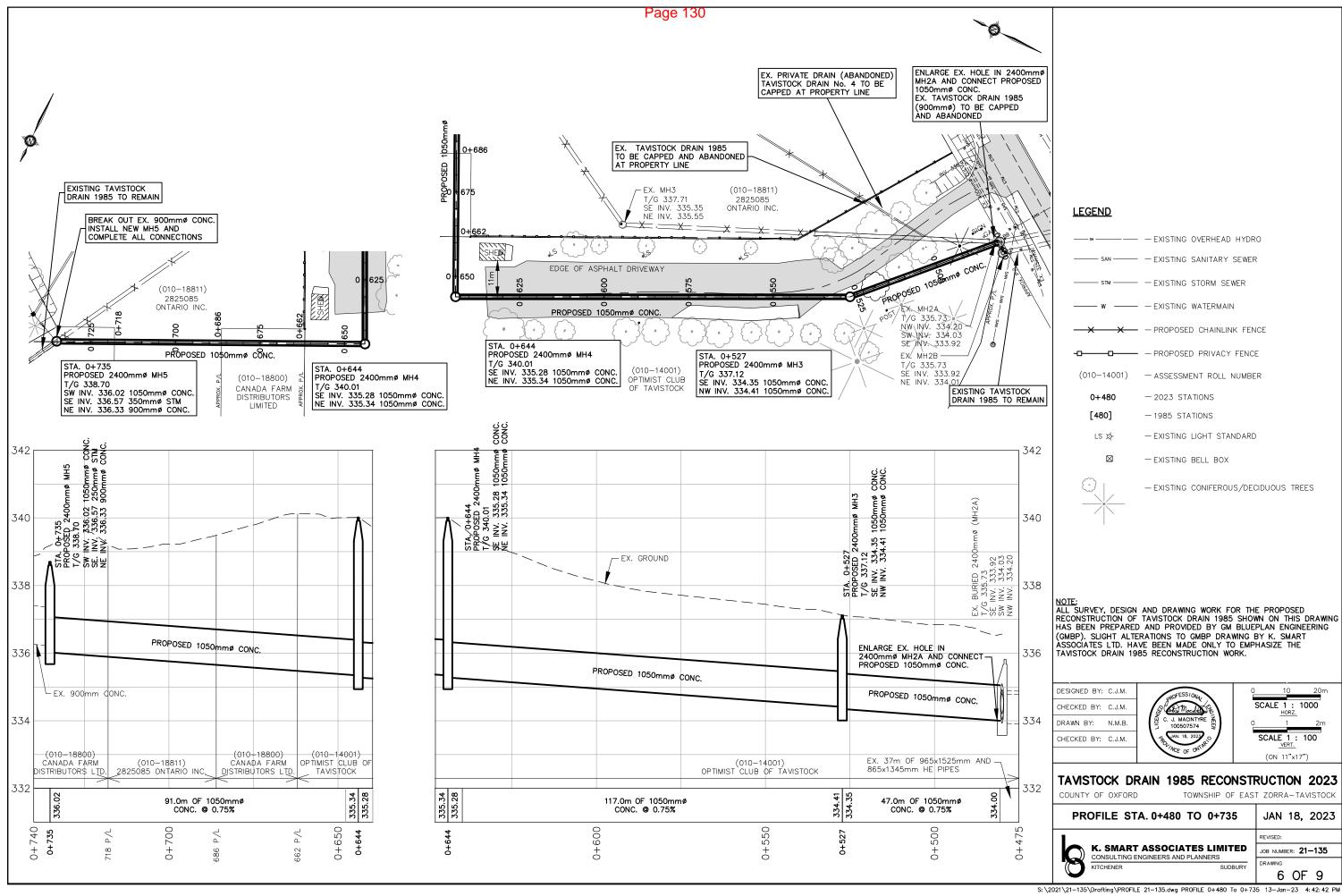
ENLARGEMENT PLAN JAN 18, 2023

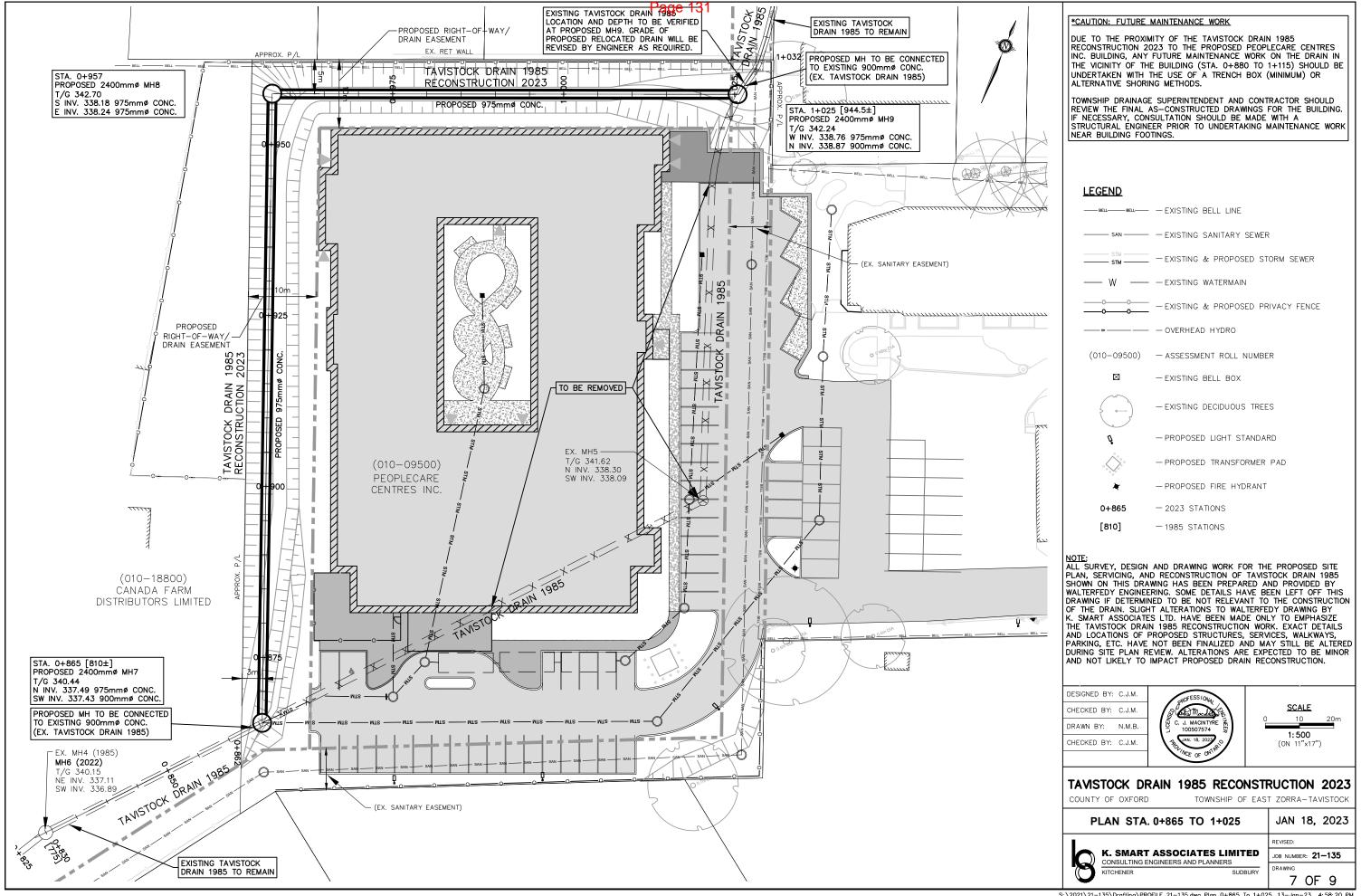


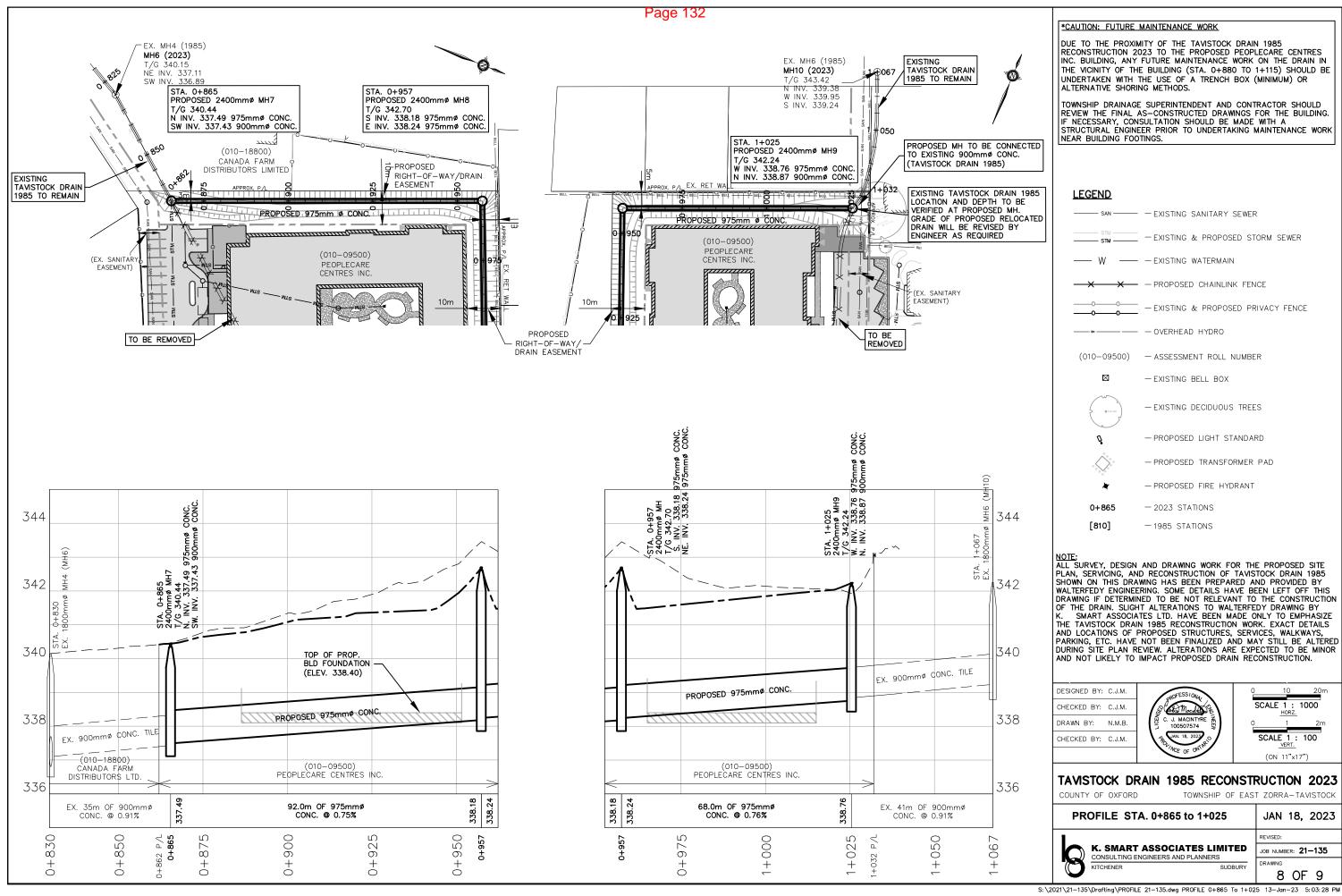
K. SMART ASSOCIATES LIMITED CONSULTING ENGINEERS AND PLANNERS

SUDBURY 4 OF 9









SPECIAL PROVISIONS 300)

300.1) SPECIFIC NOTES

0+480 to 1+025 - 2023± Stationing by KSAL (m) [480] - Tayistock Drain 1985 Original Stationing (m)

The existing Tavistock Drain 1985 across the two (2) proposed developments is to be removed/destroyed after the new Drain is constructed and functioning. A portion of existing Tavistock Drain 1985 across the Optimist Park property is to be capped at each end and abandoned in place.

i) Works to be Part of Tavistock Drain 1985

Sta. Description

Optimist Club of Tavistock (Roll No. 010-14001)

0+480

- Enlarge existing hole in existing 2400mm dia, MH2A and connect proposed 1050mm dia. concrete pipe. Hole should be enlarged at the bottom, with new invert below the existing invert, and top of pipe at the same elevation of existing top of pipe. (It is believed only 200mm clearance exists below lid)
- Cap existing Tavistock Drain 1985 pipe (900mm dia.)

0+480 to 0+527 - 47m of 1050mm dia. reinforced concrete pipe (RCP)

0+527 - Construct 2400mm dia. concrete maintenance hole (MH3) including

connections

0+527 to 0+644 - 117m of 1050mm dia. reinforced concrete pipe (RCP)

0+644

- Construct 2400mm dia. concrete maintenance hole (MH4) including

connections

0+644 to 0+662 - 18m of 1050mm dia. reinforced concrete pipe (RCP)

Canada Farm Distributors Ltd. (Roll No. 010-18800)

0+662 to 0+686 - 24m of 1050mm dia. reinforced concrete pipe (RCP)

2825085 Ontario Inc. (Roll No. 010-18811)

0+686 to 0+718 - 32m of 1050mm dia. reinforced concrete pipe (RCP)

Canada Farm Distributors Ltd. (Roll No. 010-18800)

0+718 to 0+735

- 17m of 1050mm dia, reinforced concrete pipe (RCP)

0+735

- Construct 2400mm dia, concrete maintenance hole (MH5) including connections

See Note 8 (this drawing) for restoration details on above properties.

PeopleCare Centres Inc. (Roll No. 010-09500)

Existing Municipal Drain (Tavistock Drain 1985) location and depth to be verified at MH9. Grade to proposed drain will be revised by Engineer as required.

0+865

- Construct 2400mm dia. concrete maintenance hole (MH7) including
- 0+865 to 0+957 - 92m of 975mm dia. reinforced concrete pipe (RCP)

0+957

- Construct 2400mm dia. concrete maintenance hole (MH8) including

0+957 to 1+025

- 68m of 975mm dia. reinforced concrete pipe (RCP)

1+025

- Construct 2400mm dia. concrete maintenance hole (MH9) including

300.2) GENERAL NOTES

Notes below are described in the likely order of occurrence during the project, and have been written to generally conform to "NOTES" prepared by GM BluePlan Engineering and WalterFedy drawings for their respective developments.

Miscellaneous - Commencement

1.1 No changes are to be made without the approval of the Design Engineer and the Township of East Zorra-Tavistock.

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- All work to be done in accordance with the Ontario Provincial Standard Drawings (OPSD) and Specifications (OPSS) except where noted.
- Approximate locations of existing utilities have been indicated on the drawings. No responsibility is assumed by the Engineer or locate company for the exact locations as shown or the completeness of any or all locates.
- Prior to construction, the Contractor must:
 - · Check and verify all dimensions and existing elevations which includes, but is not limited to, the benchmark elevation, existing service connections and
 - Obtain all utility locates and required permits and licenses.
 - Confirm all drawings used for construction are of the most recent revision.
 - · Report discrepancies in existing condition information immediately to the Engineer.
- 1.5. The Contractor shall contact the Engineer 48 hours prior to commencing work to determine degree of inspection and testing required for certification of underground service installation.
- 2.1 Any area disturbed during construction shall be restored to its original condition or better to the satisfaction of the Engineer and authority having jurisdiction.
- 2.2 The Contractor shall assume all liability for damage to existing works. Damage shall be rectified to the satisfaction of the Engineer and Owner.
- 2.3 All construction traffic shall enter the site:
 - For 2825085 Ontario Inc.: either the existing laneway to property or Optimist Club of Tavistock laneway.
 - For PeopleCare Centres Inc.: through existing laneway fronting William St.

3. Utilities

The Contractor shall arrange with all local utility companies (telephone, Union Gas, hydro) to verify the location of all utilities within road allowances or on private lands. All utilities shall be exposed to the satisfaction of the utility company to verify that their elevations will not conflict with the construction of the drain at the specified elevations. Provisions for protection and relocation of utilities that conflict with the drain as designed will be determined at the time of construction.

4. Access (Standard Specifications – 400.5)

The Contractor shall have access to the drain along the routes shown on the plan. The access routes shall be along existing laneways or paths or where none exist, along a 6m wide (maximum) path. All specifications governing fences, livestock and crops during drain construction shall apply to access routes except where superseded by notes on the drawings. No other access routes shall be used unless first approved by the Engineer and affected landowner. The Contractor shall also contact each owner prior to using designated accesses.

Telephone numbers for contact are:

Twp of East Zorra-Tavistock	
(Connor Occleston, Drainage Superintendent)	519-462-2697
Engineer	
(Curtis MacIntyre, P. Eng., K. Smart Associates Ltd.)	519-748-1199 x 252
One Call Centre	1-800-400-2055

5. Geotextile Fabric

To be non-woven fabric, rot proof, non-biodegradable, chemically resistant to acidic or alkaline soils, dimensionally stable under different hydraulic conditions. The filter fabric is to be a material whose primary function is a high permeable, non-clogging soil separator for fine soils (Terrafix 360R or equal). Contractor is to follow manufacturer's recommendations for cutting, installation, and precautions necessary to avoid damage to fabric. Other approved equals will also be considered by the Engineer prior to construction.

Storm Sewer

6.1. Storm sewer to be reinforced concrete meeting requirements of OPSS 1820.

- 6.2. Storm sewers to be installed with minimum 1.0m cover. Where cover over storm sewer is deficient, the storm sewer is to be insulated
- 6.3. Pipe bedding for rigid pipe to be Class "B" as per OPSD 802, and consist of at least 150mm thick Granular A compacted to at least 95% SPMDD. Granular A shall be used to backfill around the pipe to at least 300mm above the top of pipe.
- 6.4. Pipe shall be laid within the alignment and grade tolerances specified in the contract
- 6.5. When bell and spigot pipe is laid, the bell end of the pipe shall be laid upgrade.
- 6.6. Contractor to provide CCTV survey of the storm system (mainline, stubs, service laterals, leads, etc.) at the start of maintenance and prior to final acceptance of the
- 6.7. A removable water-tight bulkhead shall be installed daily at the open end of the last
- 6.8. Pipe shall not be laid until the preceding pipe joint has been completed and the pipe is bedded and secured in place.
- 6.9. All pipe ends shall be thoroughly cleaned prior to the installation of gaskets. All gaskets to be lubricated prior to the installation of pipe or as recommended by the pipe manufacturer.
- 6.10. All storm sewers to be tested in accordance with OPSS 410 and Oxford County quidelines.
- 6.11. Any subsurface drainage tile encountered from the west or north side of the proposed relocated drain is to be connected to new drain if intercepted. Connections are to be made by coring into the new drain and on Inserta Tee fitting or approved equivalent.

Maintenance Holes and Catchbasins

- 7.1. All maintenance holes are to be benched up to the spring line of the connecting pipe and contain minimum/maximum slopes of 8/4:1 as per OPSD 701.021.
- 7.2. Storm manholes (maintenance holes) to be:
 - OPSD 701.013 for 2400mm dia. and OPSD 701-060, 701.061 and 704.010 for
 - OPSD 701.014 for 3000mm dia. and OPSD 701.070, 701.071 & 704.010 for components.
 - Storm manhole lids to be per OPSD 401.010 Type B. Manhole grates in roadway to be per DGSSMS E4-01.
- 7.3. All maintenance holes (manholes), basins, chambers, etc. to be installed level and plumb to the satisfaction of the Engineer.
- 7.4. All pipes to be installed flush with the inside walls of the structure and parged to a
- 7.5. Maintenance holes (manholes) shall be fitted with self-adjusting manhole frame and
- Restoration of Optimist Park & Canada Farm Distributors Ltd. Properties

Disturbed lawn areas on the Optimist Park property shall be restored with sod. Immediately after laying sod, spread sufficient water to saturate the sod and the upper 50 mm of topsoil. After sod has sufficiently dried to prevent damage, roll the area with a roller providing 72 kPa pressure to ensure a good bond between the sod and soil and to remove minor irregularities. Water with sufficient amounts to ensure continued vigorous growth. Disturbed lawn may instead be seeded only at the agreement of the owner.

Disturbed gravel laneway to be restored with granular "A" and compacted to 98% SPMDD

Disturbed areas on the Canada Farm Distributors Ltd. property to be restored to existing conditions and seeded.

9. Miscellaneous – Completion

At the end of construction, the Contractor shall provide the Engineer and Township with a digital file of as-constructed drawings. The drawings must reflect the constructed state of the work. Submission of unaltered design drawings and contract changes will not be accepted.



TAVISTOCK DRAIN 1985 RECONSTRUCTION 2023

Township of East Zorra-Tavistock SPECIAL PROVISIONS

File No. 21-135 January 18, 2023 Drawing 9 of 9

#6.a

Placeholder page for Agenda Item 6.a – Conferences & Seminars

#6.b

Placeholder page for Agenda Item 6.b - County Council – Update & Questions

#6.c

Placeholder page for Agenda Item 6.c – Staff Reports and Questions for Staff

STAFF REPORT

Report #BI DS2023-01

To: His Worship the Mayor and Members of Council

From: Connor Occleston, Building Inspector / Drainage Superintendent

Re: Tavistock Drain 1979 - Reconstruction 2021 - Section 84.1

Report

Date: March 8, 2023

Background & Discussion:

The Tavistock Drain 1979 was reconstructed in 2022 under a report completed by K. Smart & Associates Ltd., named the Tavistock Drain 1979 – Reconstruction 2021 project. The report was adopted by Township Council on January 19, 2022, and a third reading of the by-law (Township By-law #2022-01) was given March 2, 2022.

In 2021, an amendment was made to the Drainage Act to allow a municipality to amend an Engineer's Report after the by-law for the report has received third reading. This process is the mechanism to acknowledge the as-constructed conditions of the Drain. Section 84.1 and Ontario Regulation 500/21 define the process in which these amendments may be made.

Attached to this report is the section 84.1 explanatory letter from Curtis McIntyre of K. Smart & Associates Ltd. outlining the criteria required for section 84.1 to be used under the Drainage Act, and the reasoning for the required changes during the reconstruction of the drain. Also attached are the as-constructed drawings, which are to replace the existing drawings in the already adopted Drain Report.

<u>Attachments:</u>

- Appendix "A" Section 84.1 Explanatory Letter (K. Smart & Assoc. Ltd.)
- Appendix "B" Section 84.1 As Amended Drawings (#1-12) Tavistock Drain 1979 Reconstruction 2021

Recommendation:

1. That Council accept the Section 84.1 As Amended Drawings #1-12 in Appendix "B" of Staff Report #BIDS2023-01, and that these drawings replace current drawings #1-12 in the adopted Tavistock Drain 1979 – Reconstruction 2021 report, as approved under Township By-law #2022-01.

C.A.O. Reviewed:

Report prepared and submitted by:

Karen DePrest

Chief Administrative Officer

Connor Occleston Building Inspector / Drainage Coordinator

am Odette

John Scherer Building, Drainage and Development Manager (Chief Building Official)



February 24, 2023 File No. 18-270

RE: TAVISTOCK DRAIN 1979 RECONSTRUCTION 2021 Ammendment to an Engineer's Report (Section 84.1) Township of East Zorra-Tavistock

To whom it may concern,

In 2021, an ammendment to the Drainage Act was made to provide an opportunity for a Municipality to amend an Engineer's Report after the by-law for the report has received third reading. The drainage community has commonly referred to this process as a mechanism to acknowledge the as-constructed conditions of the Drain. Section 84.1 and Ontario Regulation 500/21 define the process in which these amendments may be made. Regulation 500/21 requires the Engineer prepare a supporting document stating the amendments meet a list of criteria. This letter shall constitute the supporting document.

The following are the listed criteria within Ontario Regulation 500/21, as well as the Engineer's statements applying to the <u>Tavistock Drain 1979 Reconstruction 2021</u>:

- "i. the design changes to the drainage works are necessary due to unforeseen circumstances encountered during the construction of the drainage works,"
- The main design change during construction was the relocation of the open ditch so
 that the existing Tavistock Drain 1961 (outlet for the Tavistock lagoons) may be kept
 in its current place as much as possible, as desired by the owner of the property
 (Oxford County).
- The existing Tavistock Drain 1961 was proposed to be abandoned as a part of this report. It is now private infrastructure of Oxford County.
 - "ii. the existing approvals for the drainage works allow for the design change to be made without requiring an amendment to the approval,"
- The relocation of the open ditch within Oxford County's property does not alter approvals. The outlet at the Hohner Drain remains in nearly the same location as proposed.
 - "iii. the design changes will not increase the cost of the total project by more than 133 percent, and"
- The project has been assessed to one owner, who was aware of the changes prior to construction. The owner also completed and paid for the the full cost of construction. Therefore, exact construction costs are unknown to the Engineer.
- Overall, the additional relocation of 250m± of 450mm diameter pipe is easily offset by the reduction of 67m± of previously proposed 1200mm diameter pipe.

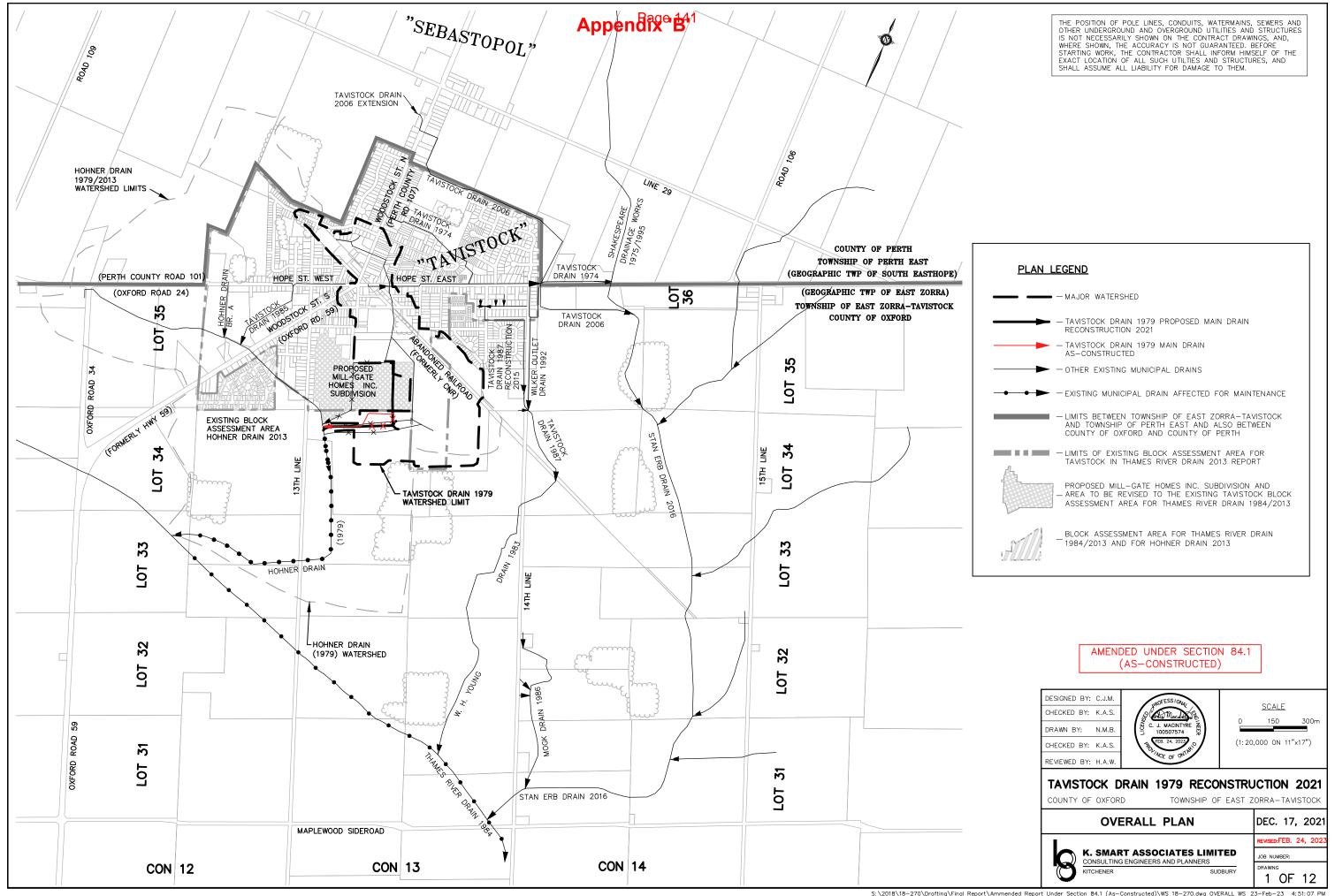
- "iv. the design changes will not impact the existing drainage capacity."
- The Tavistock Drain 1979 Reconstruction 2021 was designed for a 10-year storm return period. The amended ditch grade was increased to 0.20% from the original proposed 0.10%, therefore slightly increasing its capacity. No pipe section changed in size or grade.

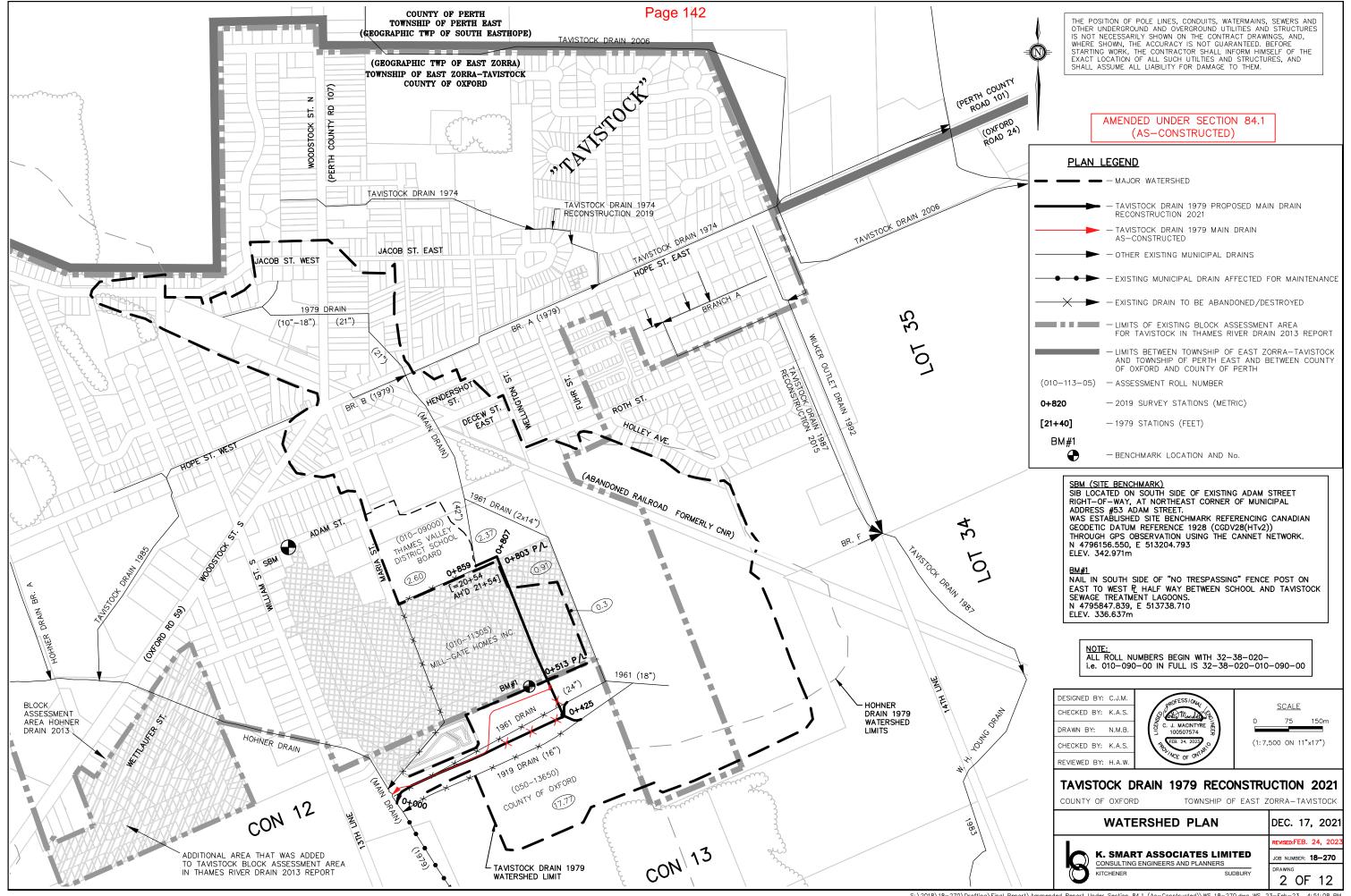
All of which is respectfully submitted.

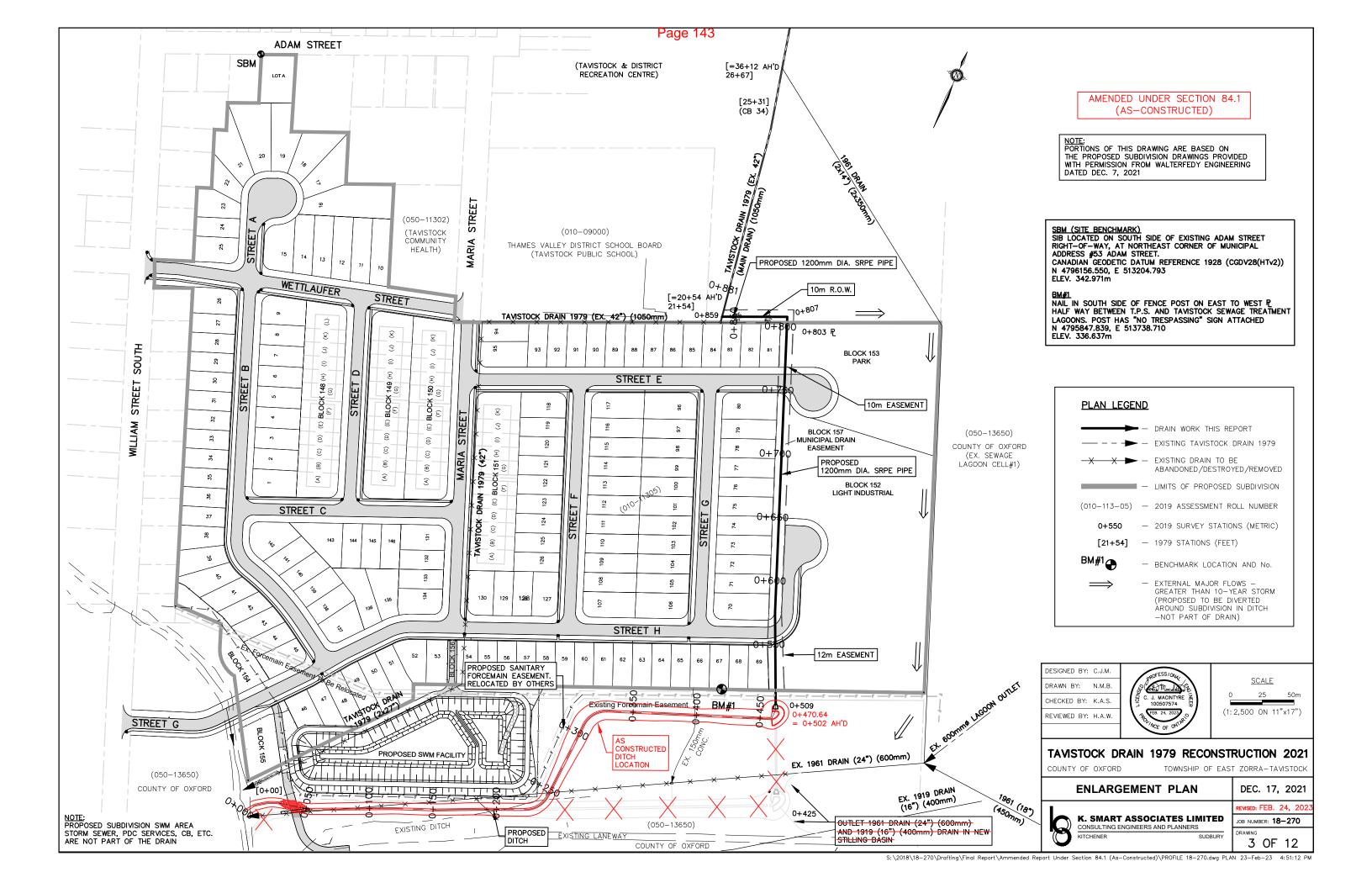
K. SMART ASSOCIATES LIMITED

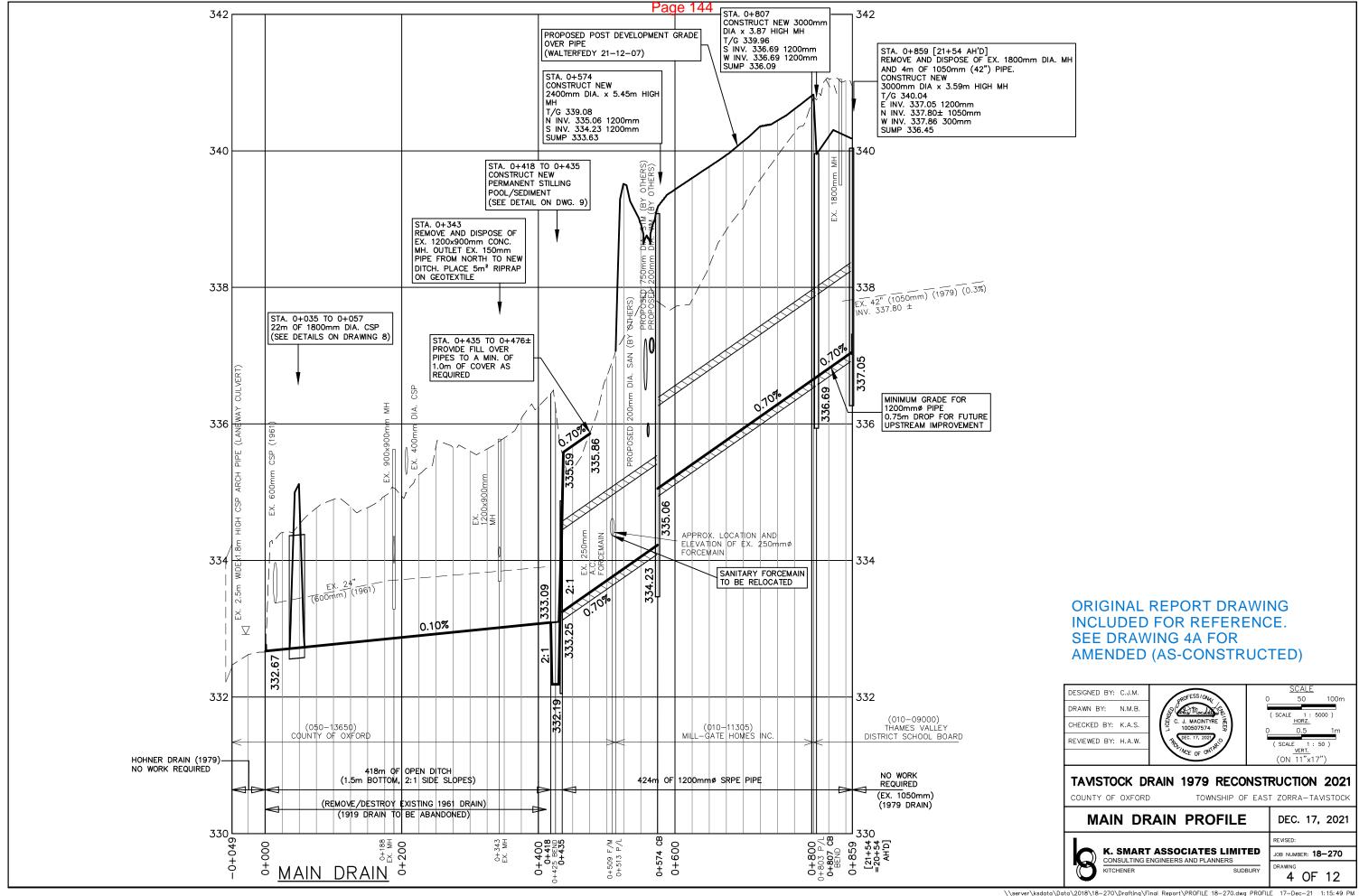
Curtis MacIntyre, P. Eng.

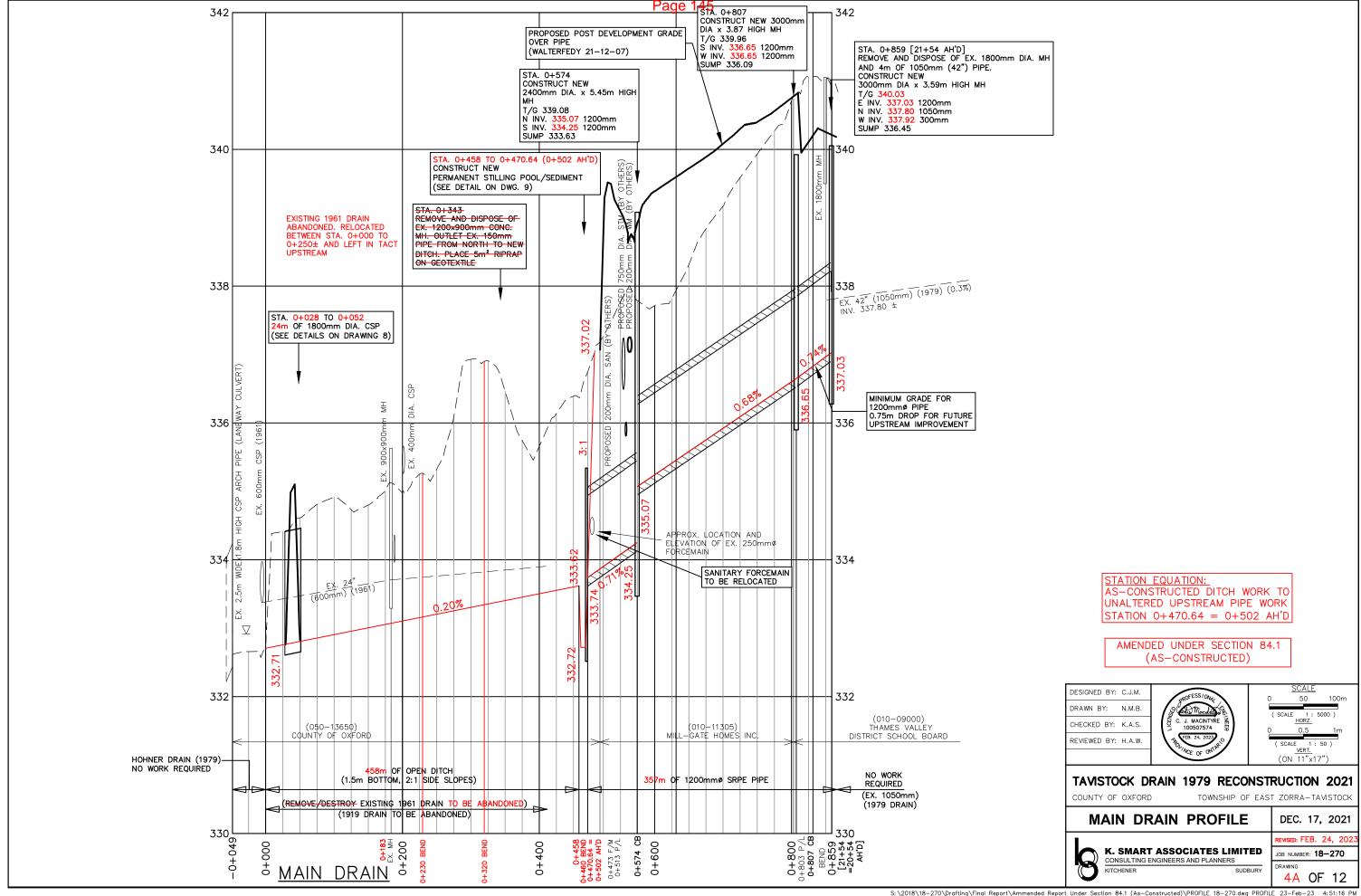
Encl: Tavistock Drain 1979 Reconstruction 2021 Drawings, Ammended under Section 84.1

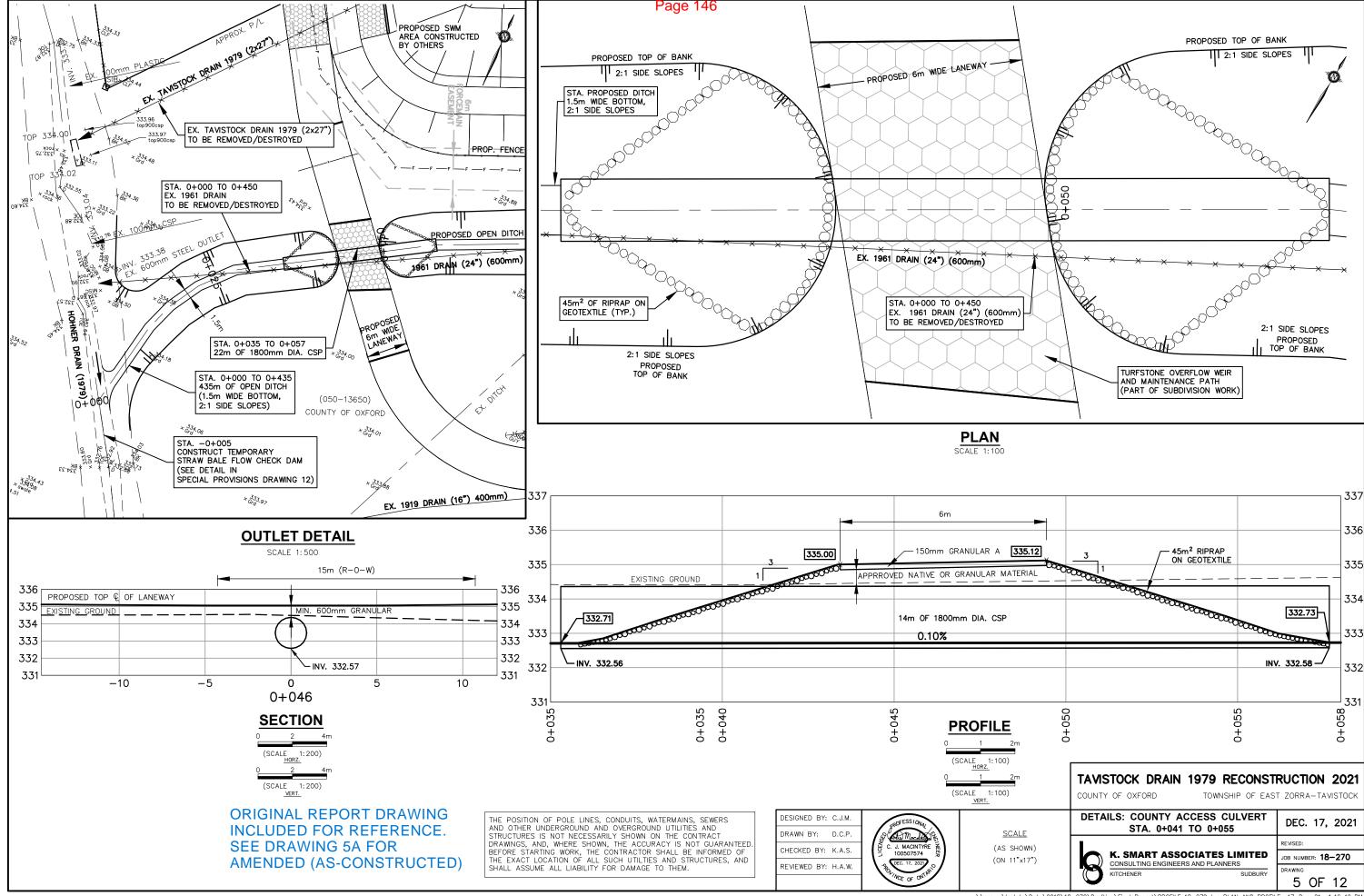


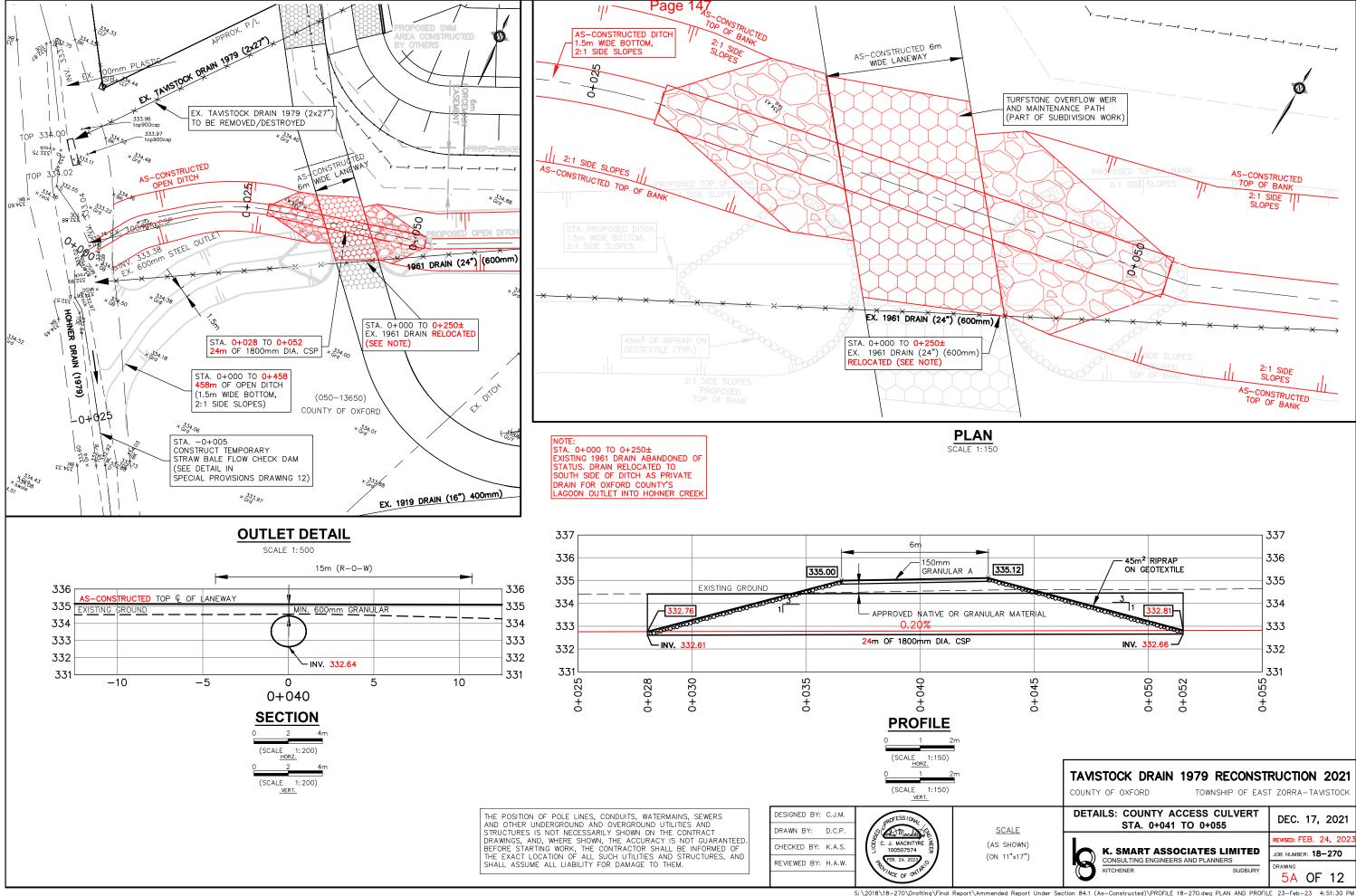


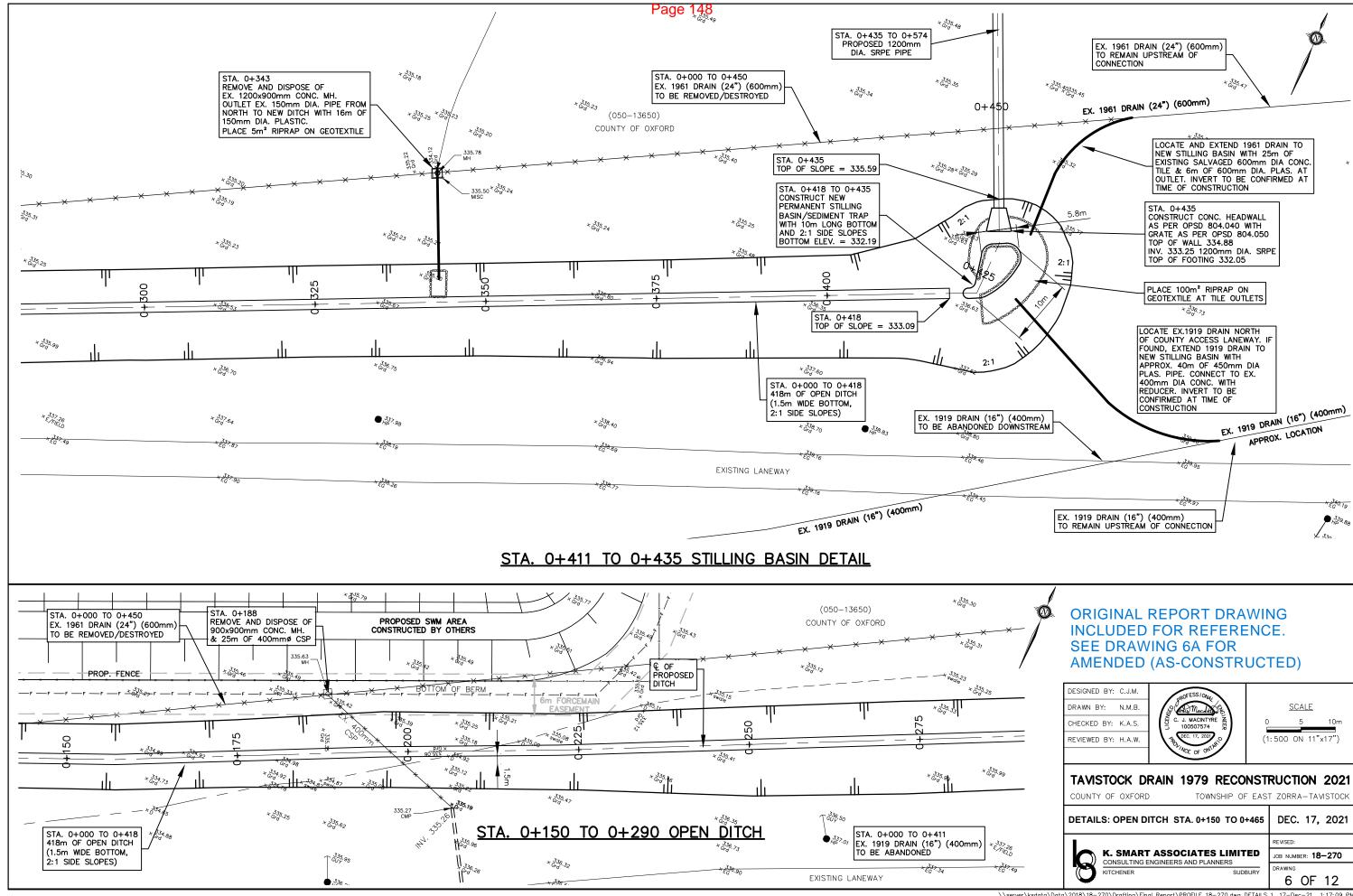


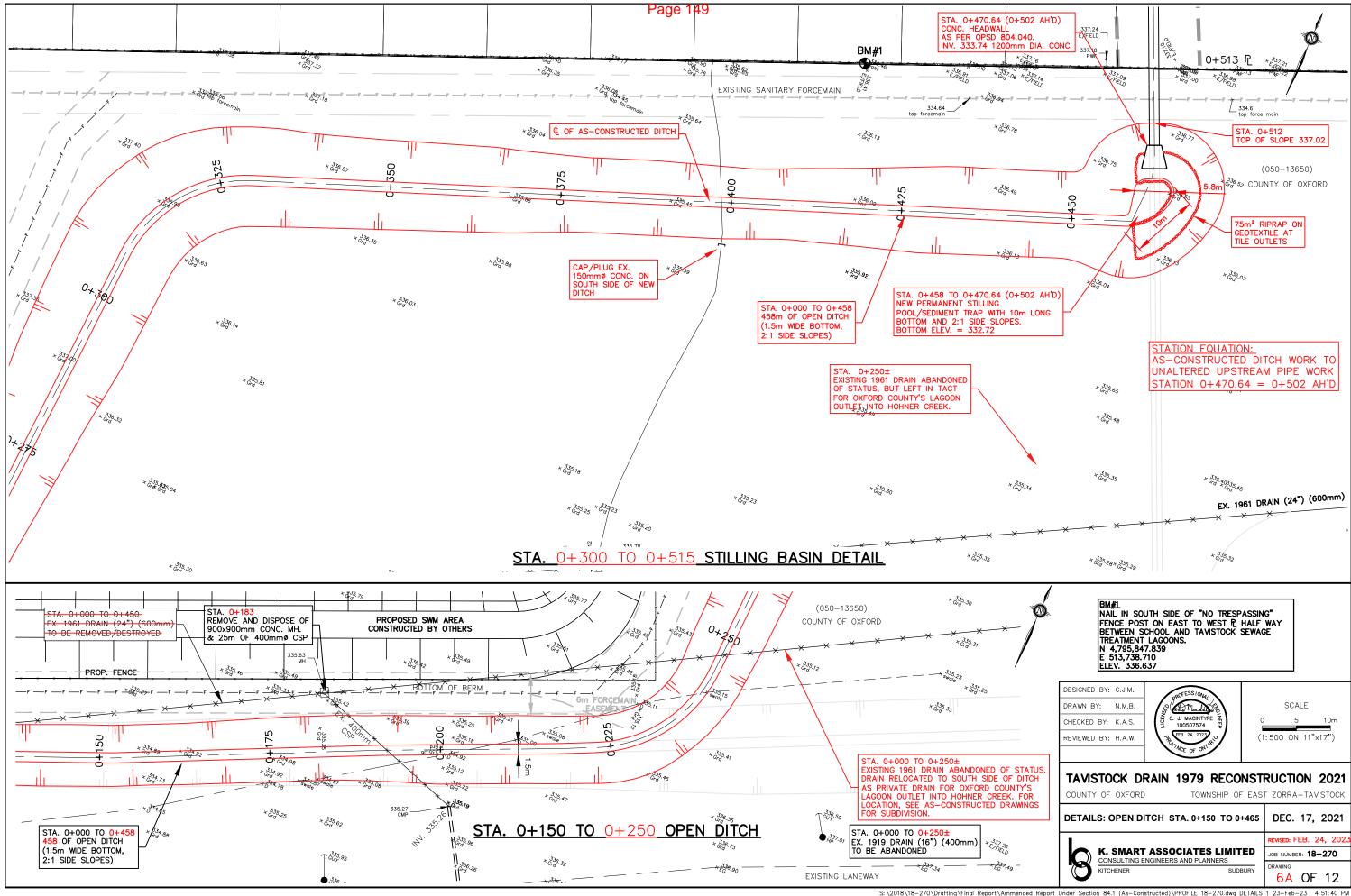


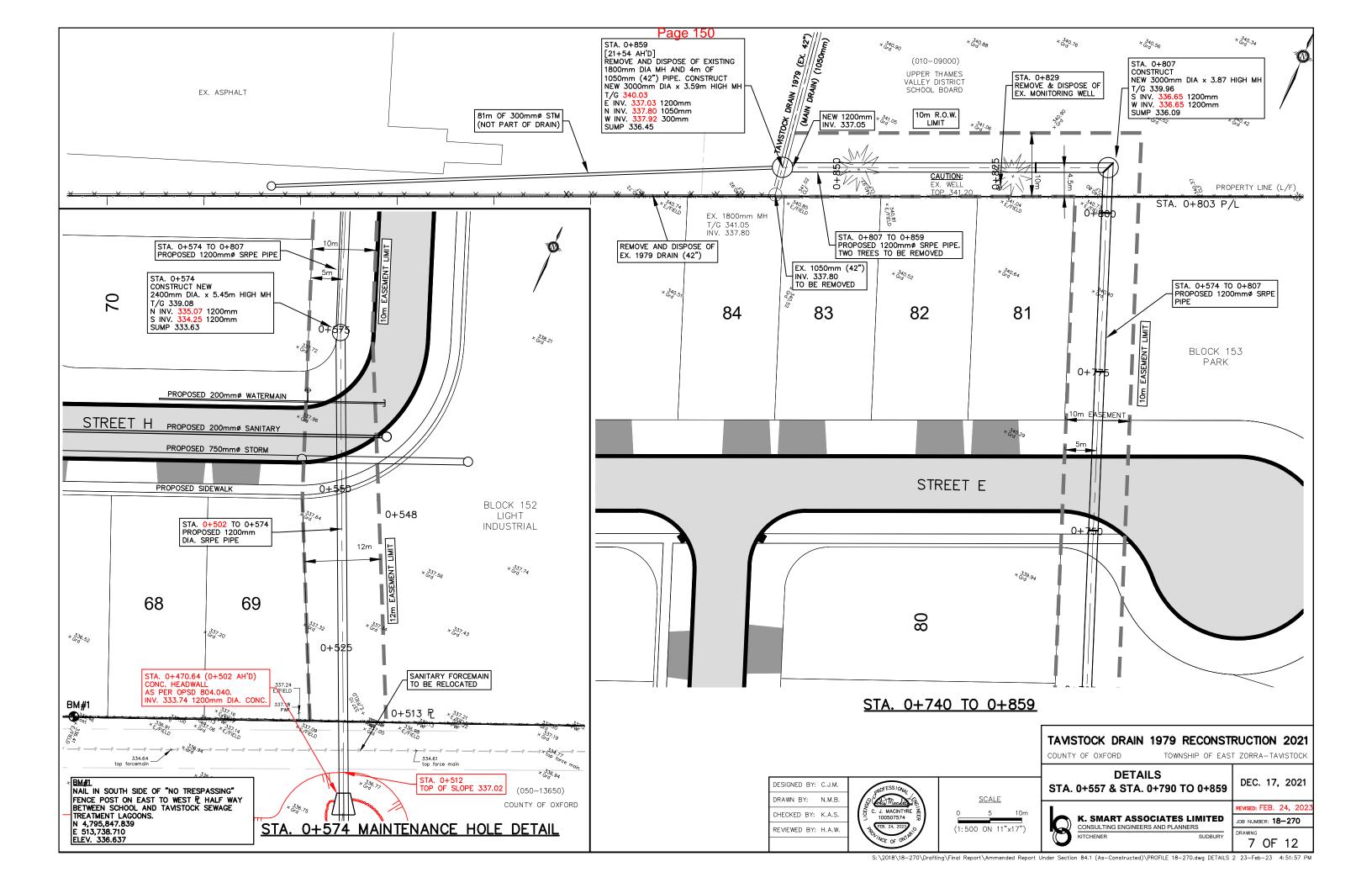


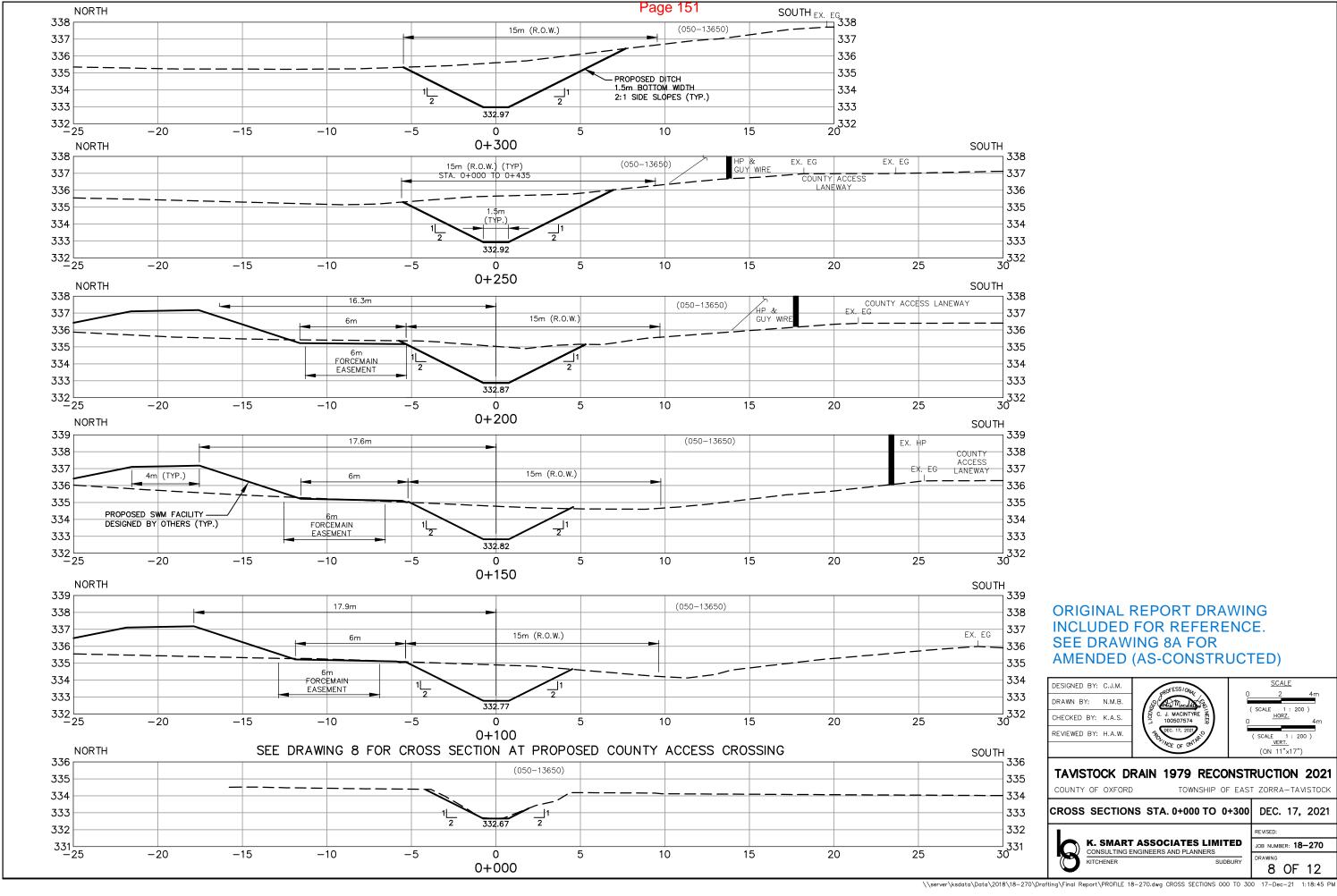


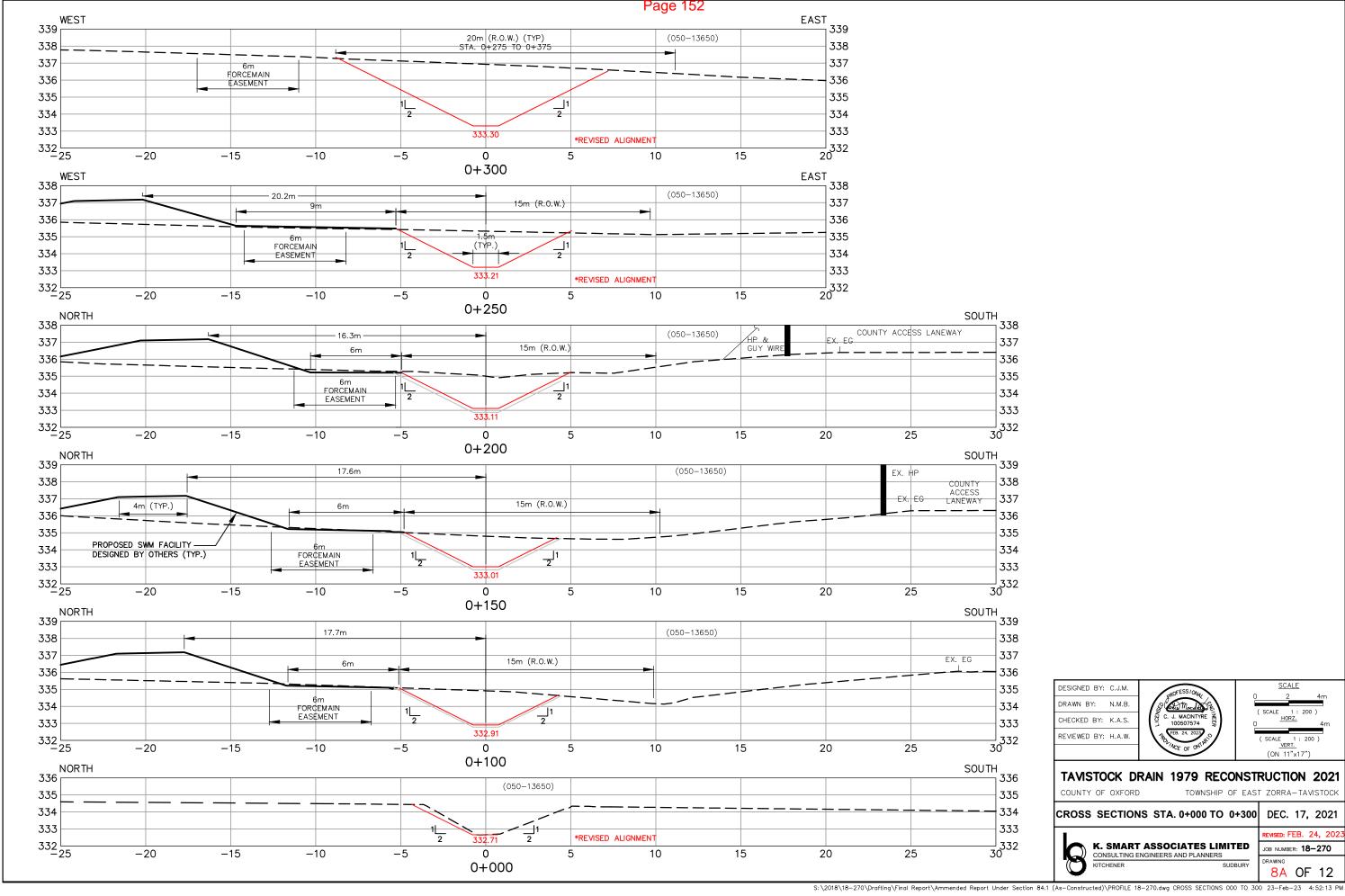


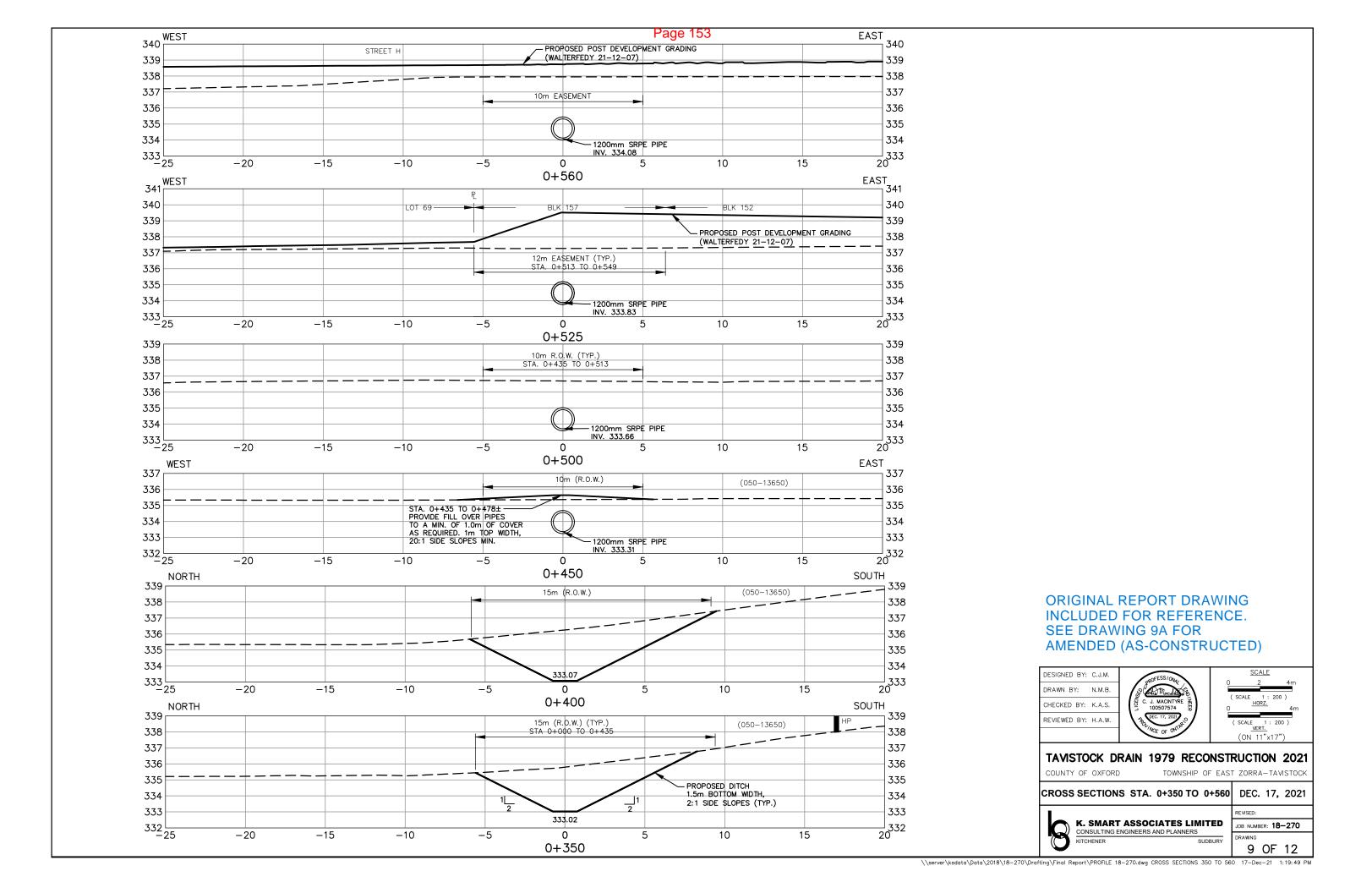






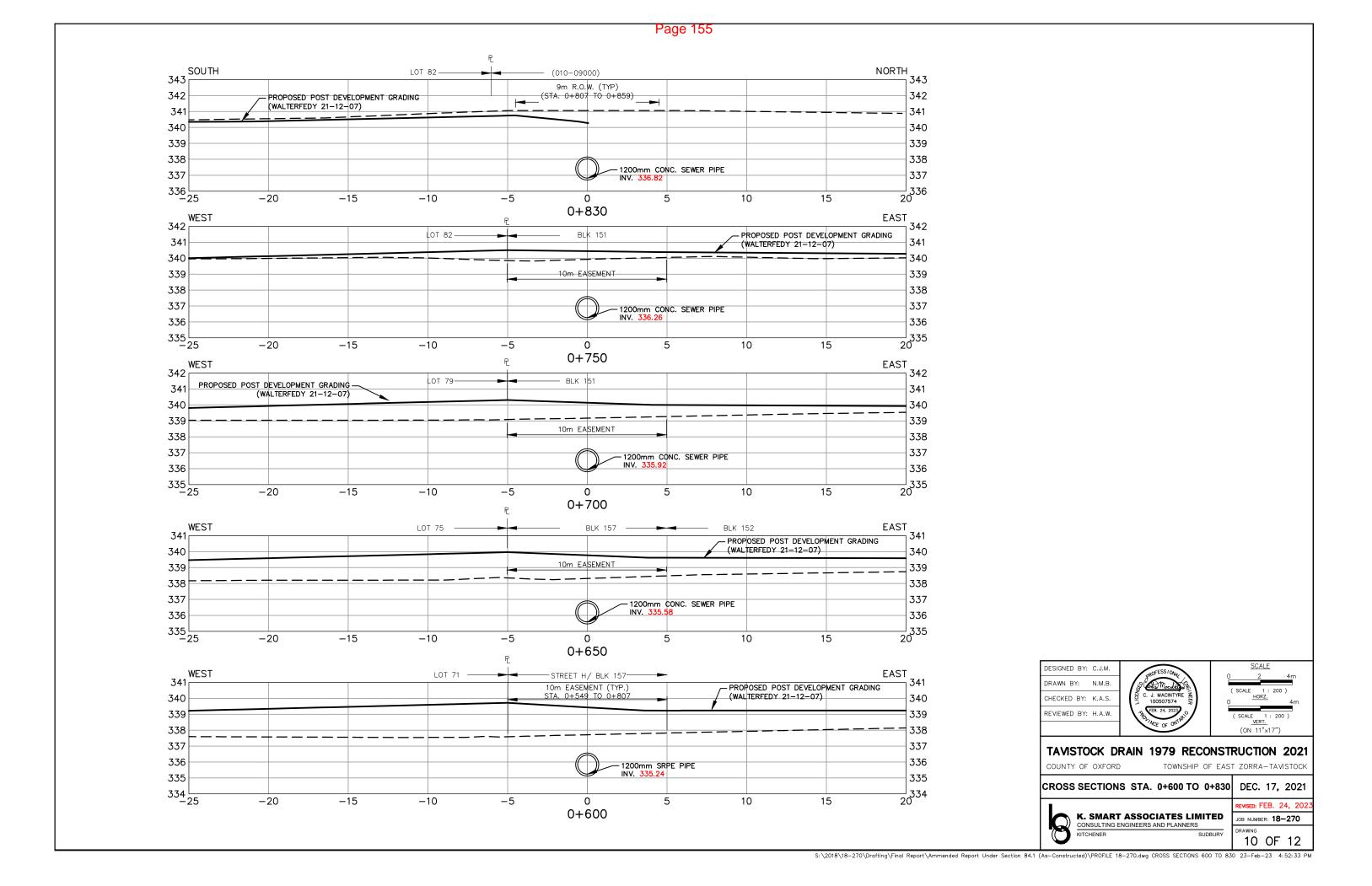






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Report #PW2023-03

To: His Worship the Mayor and Members of Council

From: Tom Lightfoot, Public Works Manager

Subject: Joint Surface Treatment Tender Results

Date: March 8, 2023

Background:

As part of the 2023 Draft Capital budget, the 16th Line between Oxford Road #8 and the Perth-Oxford Road is scheduled to have a surface treatment application. Staff participated in the joint surface treatment tender issued by Oxford County, known as "Joint Surface Treatment #Tender-Eng-2023-408". The tender closed on March 3, 2023.

The work included in the tender is as follows:

- Supplying and applying a single surface treatment & stress absorbing material trap rock;
- Line painting in the work area; and,
- All traffic control, as per Book 7 requirements.

This asphalt surfacing treatment is commonly referred to as a "FiberMat surface treatment". At this time, the work will be in the summer of 2023 and is tentatively scheduled for mid-July. Staff will be attending a preconstruction meeting and will have a better timeline for the project after that meeting.

The FiberMat surface treatment is designed to be a wearing surface to protect the road base. The 16th Line had approximately 8,000 metres of crack sealing done last year to prepare the road for this treatment. This process has been used on several Township roads in the past, with good results.

This tender is one of many tenders that is released through the Service Sharing group. By joining in with other municipalities' tenders, staff believe there is more interest and better pricing with larger projects and bulk purchasing.

One tender was submitted, with results as follows:

Supplier	Contract Price (excluding taxes)
Walker Construction Limited	\$450,572.50

Walker Construction Limited has worked with the Township in the past, with good results. The tender price is based on approximate m2 for the surface treatment and per metre for the line painting, but will be paid out on the actual measurements, by unit prices. After receiving the tender results, the draft budget has now been updated for this project to also include some asphalt padding and Township staff time to the project.

Recommendation:

1. That Council accept the tender submitted by Walker Construction Limited, for the works proposed in contract # Tender-Eng-2023-408, for the submitted tender price of \$450,572.50, excluding taxes.

Reviewed by C.A.O.:

Report prepared and submitted by:

Karen DePrest Chief Administrative Officer

Tom Lightfoot Public Works Manager

Report #BCO2023-02

To: His Worship the Mayor and Members of Council

From: Melanie Shiell, By-law Compliance Officer

Re: By-law Compliance - March 2023 Council Report

Date: March 8, 2023

<u>Departmental Highlights:</u>

None to report

<u>Legislative Updates:</u>

None to report

By-law Compliance Activity for January 2023

OCCURRENCE TYPE	NUMBER OF NEW OCCURRENCES (Commenced this Month)		NUMBER OF ON-GOI NG OCCURRENCES (Commenced prior to this Month)		O DATE RENCES
	Open	Closed	Open	Open	Closed
Property Standards	1	1	3	3	1
Clean Yard					
Animal Control	1	1			1
Parking					
Noise					
Zoning			1	1	
Illegal Dumping					
Inquiry					
Canine	1	1			1
Other					
TOTAL	3	3	4	4	3

Attachments:

• None

Recommendation:

1. None. For Council information only.

Reviewed by C.A.O.:

Report prepared and submitted by:

Karen DePrest Chief Administrative Officer Melanie Shiell By-law Compliance Officer

Department Approval:

Melanie

Will Jaques Corporate Services Manager/Clerk

Report #CSM2023-04

To: His Worship the Mayor and Members of Council

From: Will Jaques, Corporate Services Manager

Re: Corporate Services - March 2023 Council Report

Date: March 8, 2023

<u>Departmental Highlights:</u>

N/A

<u>Legislative Updates:</u>

N/A

Status of Land Use Planning Matters:

Applicant	Location	Application Type	Nature of Application	Status of Applications
Engberts	21 Burton St., Innerkip	Severance	Severance of an existing parcel of land.	Severance application approved and conditions being fulfilled.
Oxford Road Developments 5 Inc.	Extension of Phase #1 subdivision (Innerkip)	SDA OPA ZBA	OPA and ZBA required as part of the application for subdivision.	Applications received.
Stevenson	201 Stonegate Rd., Innerkip	Severance	Severance of an existing parcel of land.	Severance application approved and conditions being fulfilled.

		Application	Noture of	Ctotus of
Applicant	Location	Application Type	Nature of Application	Status of Applications
2825085 Ontario Inc.	32 Jacob St. E. Tavistock	Severance	Severance of an existing parcel of land (2 new lots).	Severance application approved and conditions being fulfilled.
Nemeth	177 Coleman St. Innerkip	Severance	Severance of an existing parcel of land.	Process complete.
Bender	616595 13 th Line	MVA	Relief from maximum height requirements for an accessory building.	Process complete.
Leslie	844944 Braemar Side Road	Severance	Severance of an existing parcel of land.	Application received.
Township of East Zorra-Tavistock	Adjacent to 89 Loveys St., Hickson	ZBA	Re-zoning from V (Village) to R1 (Residential Type 1)	Public Meeting scheduled for March 15/23.
van de Camp	475214 Zorra-EZT Line	MVA	Relief to allow for a second dwelling to be built on the property, for family farm help.	Application approved, appeal period in effect.
Williams	675648 16 th Line	MVA	Relief to allow for a second dwelling to remain on the property, for family farm help.	Public Hearing scheduled for March 15/23.
peopleCare Inc.	28 William St. S., Tavistock	Severance	Severance of an existing parcel of land.	Application received.

Attachment:

N/A.

Recommendation:

1. None. For Council Information.

Reviewed by C.A.O:

Karen DePrest Chief Administrative Officer Report prepared and submitted by:

Will Jaques Corporate Services Manager

Report #CAO2023-03

To: His Worship the Mayor and Members of Council

From: Karen DePrest, CAO/Treasurer

Re: CAO/Treasury - March 2023 Council Report

Date: March 8, 2023

Departmental Highlights:

• The 2022 draft year-end budget to actual monitoring report is being compiled and will be included in the Financial presented to Council as part of the May 2023 Monthly Update report, as noted below, under "Financial Highlights".

 2023 budget preparations are underway. However, resulting from recent staffing changes in the Finance Department, Staff would note that the budget timelines previously presented under report #CAO2022-20 - Budget Planning and Development Timetable 2023, are being revised to the following:

May 3, 2023 – Presentation of the 2023 Draft Operating and Capital Budgets

May 10, 2023 – Special Meeting of Council – 2023 Budget deliberations

May 17, 2023 – Council Meeting – including a public meeting for discussions of the 2023 Budget

June 7, 2023 – Presentation of the 2023 Budget By-law

Senior staff will be receiving their budget areas immediately following the Easter weekend. Subsequent meetings will be held to prioritize and combine departmental budgets in the overall presentation. The budget will include information from the Asset Management Plan, the Development Charges Study, and Capital and Reserve/Reserve Fund forecasting.

The 2022 Township general audit has been rescheduled to June 5th - 7th. The ROEDC audit will be conducted on April 11th prior to the consolidated audit.

- Staff continue to work on the preparation and release of a bid document for the Tavistock Spray Pad Project. As noted, the fundraising pledges have now exceeded to the \$100,000 requirements however, not all funds have been received to date. Staff have been asked to start considering with Council how donations will be recognized.
- The Treasury Division is still actively recruiting for both a Financial Services Coordinator as well as a Tax Collector/Revenue Coordinator. Interviews for these two positions continue on Monday, March 13th with hopes that they might be filled by the end of March.

Legislative Updates:

None

Attachments:

None

Financial Highlights:

- The 2023 monthly data will be updated for the month of April 2023 and included **in May's report**, subject to the above noted revised 2023 budget timelines.
- The 2022 draft financial position will be provided in that same monthly report at the second meeting of May.

Recommendation:

1. None. For Council Information.

Respectfully submitted by:

Karen DePrest

Chief Administrative Officer/Treasurer

THE CORPORATION OF THE TOWNSHIP OF EAST ZORRA-TAVISTOCK COUNTY OF OXFORD

BY-LAW #2023 - 07

Being an Actual Cost By-law on the Tavistock Drain 1979 Reconstruction 2021

WHEREAS the construction of the Tavistock Drain 1979 Reconstruction 2021 project has been completed and it is deemed expedient to prorate the cost of the drain to the ratepayers in the watershed;

AND WHEREAS the total estimated cost of the Tavistock Drain 1979 Reconstruction 2021 was \$1,140,000.00;

AND WHEREAS the actual cost of construction was \$154,517.46, or 13.6% of the estimate:

AND WHEREAS the Provincial Grants on agricultural lands were \$0.00;

NOW THEREFORE the Council of the Township of East Zorra-Tavistock enacts as follows:

1. The balance of the cost shall be prorated and invoiced as set out in Schedule "A" attached hereto and forming part of this by-law.

READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 15th DAY OF MARCH, 2023.

	PHIL SCHAEFER, MAYOR
(SEAL)	
	WILL JAQUES, CLERK

Original (Report): December 17, 2021 File No. 18-270

Actual: February 24, 2023

SCHEDULE B - SCHEDULE FOR ACTUAL COST BYLAW TAVISTOCK DRAIN 1979 RECONSTRUCTION 2021 TOWNSHIP OF EAST ZORRA-TAVISTOCK

_				ESTIMATED	COSTS (R	EPORT)	A	CTUAL COS	TS
Con/	Lot	Roll No.	Owner	Gross	Less		Gross	Less	
Plan		(32-38-020-)		Total	Allowances	NET	Total	Allowances	NET
307 13 13	Pt 124 Pt 34 & 35 Pt 34 & 35	010-09000 010-11305 050-13650	Thames Valley District School Board Mill-Gate Homes Inc. County of Oxford	0 1,140,000 0	4,200 0 38,000	(4,200) 1,140,000 (38,000)	154,517.46	4,200 0 38,000	(4,200.00) 154,517.46 (38,000.00)
		TOTALS:				1,097,800			112,317.46

Notes:

- 1. The lands shown above are considered non-agricultural.
- Section 21 of the Drainage Act, RSO 1990 requires that assessments be made to the
 affected parcel of land and road affected. The affected parcels of land have been
 identified using the roll number from the last revised assessment roll for the Township.
 For convenience only, the owners' names as shown by the last revised assessment roll,
 has also been included.
- 3. Amounts in brackets () are amounts to be paid to the listed roll number.

THE CORPORATION OF THE TOWNSHIP OF EAST ZORRA-TAVISTOCK COUNTY OF OXFORD BY-LAW #2023 - 08

A By-law to amend Zoning By-Law Number 2003-18, as amended.

WHEREAS the Municipal Council of the Corporation of the Township of East Zorra-Tavistock deems it advisable to amend By-Law Number 2003-18 as amended.

THEREFORE, the Municipal Council of the Corporation of the Township of East Zorra-Tavistock, enacts as follows:

- That Schedule "A" to By-law Number 2003-18, as amended, is hereby further amended by changing to 'R1' the zone symbol of the lands so designated 'R1' on Schedule "A" attached hereto.
- 2. This By-law comes into force in accordance with Sections 34(21) and (30) of the Planning Act, R.S.O. 1990, as amended.

READ a first and second time this 15th day of March, 2023.

READ a third time and finally passed this 15th day of March, 2023.

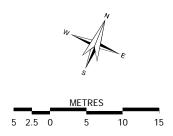
	Phil Schaefer – Mayo
(SEAL)	
	Will Jaques - Clerk

Page 168 SCHEDULE "A"

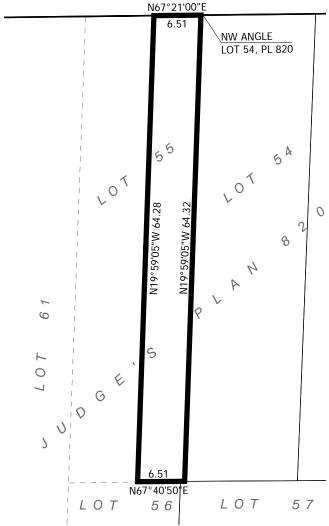
TO BY-LAW No. 2023-08

PT LOT 55, JUDGE'S PLAN 820 (EAST ZORRA) PART 1, REFERENCE PLAN 41R-10302

TOWNSHIP OF EAST ZORRA-TAVISTOCK



LOVEYS ST E





THIS IS SCHEDULE "A"

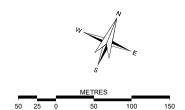
TO BY-LAW No. 2023-08 , PASSED

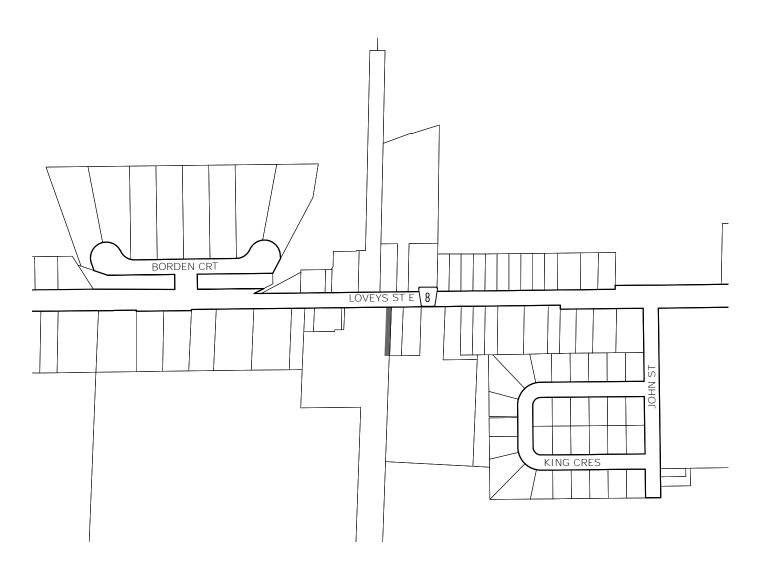
THE 15 DAY OF March , 2023

MAYOR

CLERK/ADMINISTRATOR

KEY MAP









THE CORPORATION OF THE

TOWNSHIP OF EAST ZORRA-TAVISTOCK COUNTY OF OXFORD

TAVISTOCK DRAIN 1985 – RECONSTRUCTION 2023

BY-LAW #2023 - 04

BEING a by-law to provide for drainage works in the Township of East Zorra-Tavistock, in the County of Oxford.

WHEREAS in accordance with the provisions of The Drainage Act, R.S.O. 1990, certain drainage works has been requested on the following lands:

Pt. Lots 126 to 128, Registered Plan 307, Part 2 Plan 41R-1977, in the former Village of Tavistock.

AND WHEREAS the Council of the Township of East Zorra-Tavistock in the County of Oxford has procured a report by Mr. Curtis MacIntyre of the firm of K. Smart & Associates Ltd. of Kitchener, Ontario and the report shall be attached hereto and form part of this by-law;

AND WHEREAS the estimated total cost of constructing the drainage works is \$1,011,900;

AND WHEREAS the Council is of the opinion that drainage of the area is desirable;

THEREFORE the Council of the Township of East Zorra-Tavistock, pursuant to The Drainage Act, R.S.O. 1990 ENACTS AS FOLLOWS:

- 1. The report dated January 18, 2023, is hereby adopted and the drainage works as therein set forth is hereby authorized, and shall be completed in accordance therewith.
- 2. (1) The Corporation of the Township of East Zorra-Tavistock may borrow on the credit of the Corporation the amount of \$88,100.00 being the amount necessary for the Engineering of the drainage works.

By-law #2023-04 Page 2

(2) The Corporation may arrange for the issue of debentures in the name of the County of Oxford for the amount borrowed less the total amount of

- (a) grants received under Section 85 of The Act;
- (b) commuted payments made in respect of lands and roads assessed within the municipality;
- (c) moneys paid under Subsection 61(3) of The Act; and
- (d) moneys assessed in and payable by another municipality

and such debentures shall be made payable within five (5) or ten (10) years from the date of the debenture and shall bear interest at the prevailing rates at the time the said debenture is sold by the County of Oxford.

- 3. For paying the amount of \$1,100,000.00 being
 - (a) the amount assessed upon the lands and roads in the Township of East Zorra-Tavistock, except the lands and roads belonging to or controlled by the Municipality and
 - (b) the amount required to pay interest on the portion of the amount borrowed represented by the amount in Clause (a)

Less the total amount of

- (c) grants under Section 85 of The Act
- (d) commuted payments made in respect of the lands and roads assessed
- 4. For paying the amount of \$0.00 being
 - the amount assessed upon the lands and roads belonging to or controlled by the Municipality
 - b) the amount required to pay interest on the portion of the amount borrowed represented by the amount in Clause (a)

A special rate shall be levied upon lands and roads as set forth in "Schedule of Assessments" to be collected in the same manner and at the same time as other taxes are collected.

The amount of the special rate levied upon each parcel of land or part thereof shall be divided into five (5) or ten (10) equal amounts and one such amount shall be collected in each year for five (5) or ten (10) years after the passing of this by-law.

By-law #2023-04 Page 3

5. This by-law shall come into force on the passing thereof, and may be cited as the TAVISTOCK DRAIN 1985 – RECONSTRUCTION 2023.

READ A FIRST AND SECOND TIME THIS 15th DAY OF FEBRUARY, 2023.

Will Jaques, Clerk	Phil Schaefer, Mayor
READ A THIRD TIME AND FINALLY PASSE 2023.	D THIS DAY OF,

Phil Schaefer, Mayor

Will Jaques, Clerk

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NOTICE OF COURT OF REVISION

TAVISTOCK DRAIN 1985 - RECONSTRUCTION 2023

You are hereby advised that the Drainage Court of Revision for the TAVISTOCK DRAIN 1985 – RECONSTRUCTION 2023 will be held on Wednesday, March 15, 2023, at the Innerkip Community Centre, 695566 17th Line, Innerkip, Ontario at 9:15 a.m. Any owner may appeal his/her assessment to the Court of Revision by giving written notice to the undersigned on or before Monday March 6, 2023, at 4:30 p.m.

Will Jaques, Clerk Township of East Zorra-Tavistock Hickson, Ontario N0J 1L0

Also take notice that in accordance with The Drainage Act any owner or public utility affected by the drainage works, if dissatisfied with the report of the Engineer on the grounds that:

- (a) the benefits to be derived from the drainage work are not commensurate with the estimated cost thereof;
- (b) the drainage works should be modified on the grounds to be stated;
- (c) the compensation or allowances as provided by the Engineer are inadequate or excessive:

may appeal to the Tribunal. In every case, a written notice of appeal shall be served upon the Council of the initiating municipality within forty (40) days after the mailing of this notice.

DATED: February 15, 2023

THE CORPORATION OF THE TOWNSHIP OF EAST ZORRA-TAVISTOCK COUNTY OF OXFORD

BY-LAW # 2023 - 09

Being a by-law to confirm all actions and proceedings of the Council.

NOW THEREFORE THE COUNCIL OF THE TOWNSHIP OF EAST ZORRATAVISTOCK ENACTS AS FOLLOWS:

All actions and proceedings of the Council taken at its meeting held on the 15th day of March, 2023 except those taken by By-law and those required by law to be done by resolution are hereby sanctioned, ratified and confirmed as though set out herein provided, however, that any member of this Council who has dissented from any action or proceeding or has abstained from discussion and voting thereon shall be deemed to have dissented or abstained, as the case may be, in respect of this By-law as it applies to such action or proceeding.

READ A FIRST, SECOND AND THIRD TIME AND FINALLY PASSED THIS 15th DAY OF MARCH, 2023.

	Phil Schaefer, Mayor
seal	
	Will Jaques, Clerk